



Planning Zoning Historic Preservation Division  
1900 2<sup>nd</sup> Avenue North  
Lake Worth Beach, FL 33461  
**561.586.1687**

**AGENDA  
REGULAR MEETING  
CITY OF LAKE WORTH BEACH  
PLANNING & ZONING BOARD  
CITY HALL COMMISSION CHAMBER  
WEDNESDAY, FEBRUARY 05, 2020 -- 6:00 PM**

**ROLL CALL and RECORDING OF ABSENCES:**

**PLEDGE OF ALLEGIANCE**

**ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA**

**APPROVAL OF MINUTES:**

A. Approval of Minutes

**CASES:**

**SWEARING IN OF STAFF AND APPLICANTS**

**PROOF OF PUBLICATION**

1) Proof of Publication

**WITHDRAWALS / POSTPONEMENTS**

**CONSENT**

**PUBLIC HEARINGS:**

**BOARD DISCLOSURE**

**UNFINISHED BUSINESS:**

**NEW BUSINESS:**

A. PZB Project Number 19-01400011: A Major Site Plan request by Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron for consideration of a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road.

**PLANNING ISSUES:**

**PUBLIC COMMENTS** (3 minute limit)

**DEPARTMENT REPORTS:**

**BOARD MEMBER COMMENTS:**

**ADJOURNMENT:**

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

**NOTE:** ALL CITY BOARDS ARE AUTHORIZED TO CONVERT ANY PUBLICLY NOTICED MEETING INTO A WORKSHOP SESSION WHEN A QUORUM IS NOT REACHED. THE DECISION TO CONVERT THE MEETING INTO A WORKSHOP SESSION SHALL BE DETERMINED BY THE CHAIR OR THE CHAIR'S DESIGNEE, WHO IS PRESENT AT THE MEETING. NO OFFICIAL ACTION SHALL BE TAKEN AT THE WORKSHOP SESSION, AND THE MEMBERS PRESENT SHOULD LIMIT THEIR DISCUSSION TO THE ITEMS ON THE AGENDA FOR THE PUBLICLY NOTICED MEETING. *(Sec. 2-12 Lake Worth Code of Ordinances)*

**Note:** One or more members of any Board, Authority or Commission may attend and speak at any meeting of another City Board, Authority or Commission.

All project-related back-up materials, including full plan sets, are available for review by the public in the Planning, Zoning and Historic Preservation Division located at 1900 2nd Avenue North.



DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
Planning Zoning Historic Preservation Division  
1900 2<sup>ND</sup> Avenue North  
Lake Worth Beach, FL 33461  
561-586-1687

**Minutes  
Regular Meeting  
City of Lake Worth Beach  
Planning & Zoning Board  
City Hall Commission Chambers  
7 North Dixie Hwy Lake Worth Beach FL**

**WEDNESDAY, DECEMBER 04, 2019 6:05 PM**

1. Roll Call and Recording of Absences:  
**Present were:** Greg Rice, Chairman; Anthony Marotta, Vice-Chair; Daniel Tanner; Michael Glaser, Laura Starr. **Absent:** Brock Grill, Mark Humm. **Also present:** Alexis Rosenberg, Andrew Meyer- Senior Community Planners; Mark Stivers, Deputy Director Department of Community Sustainability; Pamala Ryan, Board Attorney; Sherie Coale, Board Secretary.
2. **Pledge of Allegiance**
3. Additions/Deletions/Reordering and Approval of the Agenda: None
4. Approval of Minutes:
  - A. Meeting Minutes  
**Motion:** M. Glazer moved to approve November minutes as presented.  
**Vote:** Ayes all, unanimous.
5. Cases:
  - A. Swearing in of Staff and Applicants: Board Secretary swore in those wishing to give testimony.
  - B. Proof of Publication: Provided in meeting packet
  - C. Withdrawals/Postponements: None
  - D. Consent: None
  - E. Public Hearings:
    1. Board Disclosure: None
  - F. Cases-Unfinished Business: None
  - G. Cases-New Business:

1. PZB Project No. 19-01400009: Consideration of a Major Site Plan request by Christi Tuttle and Bradley Miller of Miller Land Planning Inc. for the approval of a two-phased industrial business center at 1939 7th Avenue North

**Staff:** A. Rosenberg: Presents case findings and analysis. Staff recommends approval subject to the conditions in Attachment B.

**Owner Agent:** Bradley Miller of Miller Land Planning displays photos of the site with minimal improvements. It would be a sequenced project which has to do with the cell tower. The intent is to utilize the building as a contractor office with associated outdoor storage. The tower renewed a 3-year lease earlier in the year. The outdoor storage would have a fully landscaped perimeter, improving the driveway. Phase II includes the removal of the cell tower and contractor office, dry detention area would be constructed to the south, the building is just under 70,000 square feet. Additional perimeter landscaping and buffering. Circulation includes delivery and larger trucks on the west side, other vehicular traffic to the east. The site meets impervious requirements and is over parked by 10 spaces. The uses are unknown at this point, should one of the tenants want to come in for a conditional use they could do so. The use table is under revision with changes coming soon. Buffers include a 10-foot buffer along 7<sup>th</sup> Avenue North. Elevations show a contemporary design with signage matching the architecture. A monument sign will match the architecture of the building. In agreement of all conditions but mentions the 10-foot R-O-W dedication, a request that staff has agreed to remove. There is currently a ten (10) foot utility easement accommodating power poles on the property which will remain.

**Board:** Chairman has questions about proposed uses and timeline for construction? And, to staff what is the intended use by the City for the ROW dedication?

**Owner Agent:** states it is market driven and there are provisions for the tenant to get out of the lease. It gives time to the owner for the marketing of the building.

**Staff:** M. Stivers responds the ten (10) foot R-O-W dedication, the intent is for the widening of 7<sup>th</sup> Ave N to the east and west per the IPOC study. Brian Shields, City Engineer believes it is unneeded at this point as there are currently no plans to widen to the east toward the railroad track. From this property eastward, the R-O-W is not currently owned by the City. Utilities could be encapsulated within an easement in that area.

**Board:** D. Tanner asks if everything (the building) could be shifted south on the lot allowing that to count as the greenspace?

**Owner Agent:** Would change the drainage from the south side to the north side. Was only informed of this added R-O-W condition after the Board had received their packets. The drainage area would be reduced. Ten (10) feet seems minimal but it will impact the drainage plan. Understands it was a study but does not have an answer as to how it is being used. Points out the PBC has a thoroughfare map showing future R-O-W's and if the development comes up short in providing the amount indicated, they have the right to ask the developer for the balance.

**Board attorney:** Reminds staff of the study that was approved by the City Commission. M. Stivers concurs there is a guidance or recommendation within the study to widen the road. Owner Agent states it is the first he is hearing of it.

**Board:** M. Glaser mentions that Phase I, in theory, could last forever.

**Owner Agent:** states the outdoor storage would give the owner some cash flow and ability to improve the property while allowing the owner time to market the property and find tenants.

**Board:** M. Glaser asks of staff to see/ know the IPOC uses on the use table.

D. Tanner asks if the City has the right to require the easement? Staff does not believe the City can require it at this point. D. Tanner asks if there is any incentive for the owner to do so?

**Board Attorney:** It is better to give willingly rather than at some point in the future have a taking when there is a plan to widen.

**Board:** D. Tanner wants to know if the site plan can be conditioned to require the construction of the phases within a certain time period or does the approval become void at some point?

**Board Attorney and Staff:** There is a requirement of one year to receive a permit in addition to a possible extension of 6 months. Staff clarifies that a building permit is the vesting tool.

**Owner Agent** offers changing the utility easement to a dedication. Staff states there is still a requirement for a twenty (20) foot setback. Staff likes the idea of shifting the building to the south. Owner Agent has concerns with the drainage plan if that is the case. Owner is voluntarily reshaping the ditch to the west. Has concerns with losing square footage within the building. They are volunteering the utility easement to become a dedication. Is concerned that along with these agreements, where does the giving stop?

**Staff:** displays the use table and mentions that virtually all high-intensity uses would require a conditional use. The future ordinance change, that may be coming, may change the review level in IPOC, body shops, service and repair.

**Board:** L. Starr- questions who might be the proposed tenants? Owner Agent states it is hard to market until the approval is obtained. Outside storage? What will be stored? Response: One of the partners has a landscape company so it may be an office with the associated trucks or HVAC contractor with fleet trucks.

**Staff:** If the existing building is being used as an office, the storage would be accessory to the office space. If outdoor storage, with no associated office space, the applicant would have to come back through the conditional use process.

**Board:** L. Starr would like to know once the building is constructed, if the outdoor storage would continue. D. Tanner- The intent is to match the setback to the west, so that in the future, if and when the road is widened, the new building, will not be setting within 10 feet of the road with significant tractor trailer traffic on the doorstep.

**Staff:** Brian Shields- 7<sup>th</sup> Avenue North from Boutwell Rd east to Barnett Drive is scheduled to be widened. The bid was accepted in December as part of the Park of Commerce Phase 1B. This project does not require any additional R-O-W. The future would include a greenway, buffer, path. Board questions if that could that be accommodated within the 10 foot Utility easement? Staff cautions that a new substation will be installed on North side of 7<sup>th</sup> Ave N along with additional transmission lines.

**Board:** G. Rice Why did the project come to Board if all the possibilities were not fully explored? Staff states that the client wanted to come forward, but the construction documents are not yet prepared.

**Staff:** Offer the city an additional 10 feet R-O-W and meet front setback of 20 feet.

**Owner Agent:** with the exception of the building shift, they were in agreement with the conditions and the utility dedication was included.

**Board:** G. Rice how large is the radio station building? Response: 1,280 sq ft.

**Owner Agent:** Many HOA's do not allow parking within, where do they go?

**Board:** Are there sidewalks along 7<sup>th</sup> Avenue N? Staff response: No sidewalks currently, only planned on the south side. Question to City Engineer when would that happen? Brian Shields- The dedication of 10 foot would include those sidewalks, lighting, landscape greenery in the future.

Owner Agent asks if the building shift condition could be included under Planning Conditions and read "at Plan Review".

**Planning & Zoning condition:** The Site Plan shall be modified through the building permit process to accommodate dedication and meet minimum building setbacks as agreed to by applicant.

**Owner Agent-** the permit process will begin soon due to perimeter landscaping required for the contractor office. Also permitting for the driveway and parking spaces.

**Board Attorney:** There was a Development of Significant Impact Ordinance passed by the City Commission last night. Order will become effective after 10 days from passage.

**Public Comments:** none

**Board:** M. Glaser wants clarification about the expanded size of the building under IPOC permitted uses.

**Staff:** states currently the uses and the level of review, are based upon square footage. < 2,500; < 7,500.

**Board:** L. Starr asks how long the lease is for Radio Fiesta, which does not hold a current business license?

**Owner Agent:** Recently renewed a 3-year lease. The lease includes language that the lease could be terminated.

**Board Attorney:** Re-iterates if the building is entirely Radio Fiesta, the outdoor storage should be associated with that type of business.

**Staff:** Any outdoor storage that is not associated with the principal office use would require the Conditional Use process.

**Owner Agent:** Originally submitted for a Conditional Use, discussion with staff led to the return of the check. Applicant has the check in hand.

**Board:** D. Tanner asks if this conditional use for outdoor storage can be included with this application? Asks if they have not already met the Conditional Use requirements in this discussion?

Board discussion regarding what the Conditional Use application would encompass.

**Staff:** M. Stivers, Development Review Official, states there would not be much difference in what would be presented to Board than what was presented tonight. Outdoor storage, as a principal use, is very broad. The ex does not define how many entities can utilize the site.

**Board Attorney** advises to bring the project back as a separate conditional use. This application is for Site Plan Approval.

**Owner Agent:** Original application was for site plan and conditional use.

**Staff** has no problem accepting the Conditional Use tonight. The ordinance timing created some problems, it has taken longer than expected.

**Motion:** D. Tanner moves to approve PZB 19-01400009- a Major Site Plan and Conditional Use for outdoor storage as a principal permitted use including all staff recommendations and the shifting building to the south and a 10 foot R-O-W dedication prior to building permits, with order not taking effect until December 13, 2019; A. Marotta 2<sup>nd</sup>.

**Vote:** Ayes all, unanimous.

6. Planning Issues: None
7. Public Comments (3 minute limit): None
8. Departmental Reports: None
9. Board Member Comments: None
10. Adjournment: 7:45 PM

**Submitted By:**

\_\_\_\_\_  
**Sherie Coale, Board Secretary**

**Minutes Approved:**

\_\_\_\_\_

**Legal Notice No. 36133**

PLEASE TAKE NOTICE that the Planning & Zoning Board, of the City of Lake Worth Beach, Florida, will hold a public hearing in the City Hall Commission Chambers, 7 North Dixie Hwy., at 6:00 PM or as soon thereafter as possible, on Wednesday, February 5, 2020 to consider a request by Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron for the following:

PZB Project# 19-01400011: a Major Site Plan request by Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron for consideration of a +/-16,468 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road, pursuant to the City of Lake Worth Beach Land Development Regulations.

Written responses can be sent to the Lake Worth Beach Planning & Zoning Board at 1900 2nd Avenue North, Lake Worth Beach, FL 33461 and must arrive before the hearing date to be included in the formal record. You also have the opportunity to attend the meeting to provide oral testimony. For additional information on the above issues, please visit the City of Lake Worth Beach Division of Planning, Zoning and Historic Preservation located at 1900 Second Ave. North, Lake Worth Beach, Florida 33461 or contact City Staff at 561-586-1687. If a person decides to appeal any decision made by the Board, Agency or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (FS 286.0105) In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1687 no later than five (5) days before the hearing if this assistance is required.

Publish: The Lake Worth Herald  
January 23, 2020



DATE: January 28, 2020  
 TO: Members of the Planning and Zoning Board  
 FROM: Andrew Meyer, Senior Community Planner  
 THRU: William Waters, Community Sustainability Director  
 MEETING: February 5, 2020

SUBJECT: **PZB Project Number 19-01400011:** A Major Site Plan request by Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron for consideration of a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road. The project is located within the Mixed-Use West (MU-W) zoning district. The subject property's PCN is 38-43-44-20-01-117-0020.

**SYNOPSIS:**

<b>Applicant</b>	Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron		
<b>General Location</b>	Northeast corner of Lake Worth Road and Boutwell Road		
<b>Zoning</b>	Mixed-Use West (MU-W)		
<b>Existing Land Use</b>	Vacant Land		
<b>Future Land Use Designation</b>	Mixed-Use West (MU-W)		
<b>Applicable Municipal Code Sections</b>	23.2-28; 23.2-31; 23.3-18; 23-4.10; 23.5-1		
	<b>Required</b>	<b>Proposed/Existing</b>	
<b>Lot Area</b>	Minimum 13,000 square feet	+/-77,316 square feet (1.77 acres)	
<b>Lot Width</b>	Minimum 100 feet	+/-135 feet	
<b>Building Height</b>	Comprehensive Plan: Maximum 35', 65' under Sustainable Bonus Program.	Zoning Code: Primary: Minimum 24' facing Lake Worth Road, Maximum 30' (not to exceed two stories)	Building 1: 22.75 feet Building 2: 22.75 feet Building 3 (facing Lake Worth Road): 27.33 feet



		Accessory: Maximum 24 feet (not to exceed two stories).	
<b>Setbacks</b>	<b>Required</b>	<b>Provided</b>	
<b>Front</b>	20 feet	20.16 feet	
<b>Street Side</b>	20 feet	20.16 feet to 69 feet	
<b>Interior Side</b>	10% of lot depth (lot width varies throughout the site)	13.83 feet to 57.86 feet	
<b>Rear</b>	10 feet	74 feet	
<b>Impermeable Surface Total</b>	Maximum 55% + 5% Administrative Adjustment	59.97% (46,365 square feet)	
<b>Maximum Building Coverage</b>	Maximum 50%	21.28% (16,455 square feet)	
<b>Floor Area Ratio</b>	Maximum 1.3	0.21	
<b>Parking</b>	Office: 4.17 (1 per 300 square feet) Retail: 51.02 (1 per 200 square feet) Warehouse: 10.03 (1 per 500 square feet) Total required: 65.22 less Mixed-Use Credit: -16.31 Total: 49	64	
<b>Board Action Required</b>	Approve; Approve With Conditions; Deny the Request; Continue the request for additional information		
<b>Staff Recommendation</b>	Staff recommends approval of the requested Major Site Plan for a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road.		

**HISTORY:**

The property was annexed into the City of Lake Worth Beach (formerly Lake Worth) on January 17, 2012 through Ordinance 2012-07, and has remained a vacant lot since its annexation.

**BACKGROUND/ PROPOSAL:**

The Applicant, Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron, is requesting approval of a Major Site Plan to construct a +/-16,455 square foot mixed-use commercial and warehouse center consisting of three separate buildings at 2202 Lake Worth Road. The site is located within the Mixed-Use West (MU-W) zoning district and has a future land use map (FLUM) designation of Mixed-Use West (MU-W). It is also located within the Lake Worth Park of Commerce (LWPOC) Urban Redevelopment Area.

Building 1 will be located on the north end of the site. It contains approximately 5,011 square feet of warehouse space, and 1,253 square feet of office space, for a total of 6,264 square feet. The building will have 4 bays,

ranging in size from 1,537 to 1,566 square feet, each with an entrance door facing Boutwell Road and an overhead door on the opposite side of the building.

Building 2 will be centrally located on the site, between building 1 and building 3, and will contain 5,300 square feet of retail and/or office space. The building will have 3 bays, approximately 1,766 square feet each, with each bay's main entrance facing Boutwell Road.

Building 3 will be located on the south end of the site, and will contain approximately 4,891 square feet of retail and/or office space. The building will have 4 bays, each ranging in size from 1,056 to 1,328 square feet, with each bay having two entrances, one facing Lake Worth Road, and the other facing the north.

The site will have two points of vehicular ingress and egress, both from Boutwell Road.

Within this application, it is important to note the following:

- **Lot coverage:** An administrative adjustment has been granted to the total allowed lot coverage of 55%. Per LDR Section 23.2-28, the development review official is allowed to administratively adjust certain sections of the Code, including lot coverage, up to 5%. The project is providing additional amenities on the site, including the availability of additional parking to help avoid any parking issues on the site, and providing more landscaping than what currently exists on site. Therefore, instead of the maximum 55% total lot coverage, the application is proposing to cover 60% of the lot, leaving 40% of the lot as pervious space.
- **Use:** This application does not include any use approvals at this time because the potential use(s), as expressed by the applicant, will most likely be market-driven and will be warehouse, office, or retail in nature, generally falling into the categories expressed above. Because of this, any use coming forward at this site is subject to the review process outlined in LDR Section 23.3-6, Use Table.
- **Signage:** This application includes a Unified Master Signage Plan as per Section 23.5-1(f)(9), which requires all proposed Mixed-Use projects to include such a plan. The sign plan has been reviewed against the sign code described in Section 23.5-1 and was found to meet the code.

### **SITE CHARACTERISTICS:**

The site is a +/-77,316 square feet (1.77 acre) parcel, located on the northeast corner of Boutwell Road and Lake Worth Road. The subject property is currently vacant. The east side of the parcel notches in and out, resulting in different widths throughout the project, while the west side of the parcel follows the contour of Boutwell Road.

### **ANALYSIS:**

#### **Surrounding Properties**

The site is surrounded by a mix of industrial, residential, and commercial land uses. Based on the site's location within the Mixed-Use West zoning district and the site plan design, the proposed use is found to be compatible on the subject site. The following summarizes the nature of the surrounding properties adjacent to the subject site:

**NORTH:** North of and adjacent to the subject site is a parcel located in Unincorporated Palm Beach County. This parcel contains a warehouse building, which houses an interior designer and furnisher business, as well as an electric company, and has the Palm Beach County zoning designation of General Commercial (GC). Further north of the subject site, across from 2<sup>nd</sup>

Avenue North, are parcels within the City of Lake Worth Beach and are part of the Lake Worth Industrial Park subdivision, and are zoned Industrial Park of Commerce (I-POC).

**SOUTH:** South of the subject site, across Lake Worth Road, is a parcel located in Unincorporated Palm Beach County. This parcel contains a commercial building, which houses a nuisance animal control business, and has the Palm Beach County zoning designation of Commercial Specialized (CS). Further south of the subject site are parcels within Unincorporated Palm Beach County that contain a mix of vacant parcels as well as residential, and have a Palm Beach County zoning designation of Multi-Family: High Density (RH).

**EAST:** To the east of the subject site are several parcels located in Unincorporated Palm Beach County. These parcels contain a mix of multiple single-family/two-family structures, a bicycle store, and a vacant lot, and all parcels have a Palm Beach County zoning designation of Neighborhood Commercial (CN). Further east of the subject site, across North Buffalo Street, are parcels within the City of Lake Worth Beach, contain a vacant parcel as well as a large shopping plaza, and have the zoning designation of Mixed-Use West.

**WEST:** To the west of the subject site, across Boutwell Road, is a large parcel within the City of Lake Worth Beach zoned Mixed-Use West. This parcel contains a large multi-family development. Further west are parcels located in Unincorporated Palm Beach County, contain several single-family residences, and have a Palm Beach County zoning designation of Multi-Family: High Density (RH).

### **Consistency with the Comprehensive Plan and Strategic Plan**

The proposed project is to be located in the Mixed-Use West zoning district and would provide a mix of office, retail, and industrial uses. The project is new development within the Lake Worth Park of Commerce (LWPOC), and is situated along the south entrance of Boutwell Road. The project has the capacity to influence the supply and expansion of jobs as well as promote an improved and diversified tax base. As such, the proposed mixed-use commercial and warehouse center appears to be compatible with the following portions of the City of Lake Worth's Comprehensive Plan and Strategic Plan:

#### **Policy 1.1.1.6: Mixed-Use West**

The Mixed-Use West land use category is intended to provide for a mixture of residential, office, service and commercial retail uses within specific areas west of I-95. The distinguishing characteristic of the Mixed Use West land use area is that it allows higher-intensity uses as well as higher height limits along the City's western thoroughfares.

#### **Policy 1.1.2.12: Locational Criteria for the Mixed-Use West Designation**

The Mixed Use West land use designation is intended for mapping in areas from the westernmost city limits eastward to I-95 and adjacent to the Lake Worth Park of Commerce, where the existing land use pattern is characterized by a high proportion of land (either vacant or with marginally useful structures) that has a good potential for new retail, office, commercial and high-density multi-family development.

#### **Objective 1.7.1:**

To encourage development/redevelopment of the LWPOC as an employment center through redevelopment and economic revitalization efforts. The boundaries for the Park of Commerce are: 10th Avenue North to the north; Lake Worth Road to the south; Interstate 95 to the east; and the E-4 Canal to the west.

**Policy 1.7.1.4:**

The City shall encourage new development proposals within the LWPOC, with emphasis on those at the north and south entrance of the Park of Commerce along Boutwell Road, to be consistent with the goal to create a quality office/industrial park, as established in the LWPOC Conceptual Plan.

**Strategic Plan Pillar 4: Navigating Towards a Sustainable Community**

A. Achieve economic and financial stability through a versatile and stable tax base.

D. Influence the supply and expansion of jobs.

E. Ensure facility placement, construction, and development that anticipates and embraces the future.

**Site Plan**

The applicant is requesting approval of a +/-16,455 mixed-use commercial and warehouse center consisting of three separate buildings at 2202 Lake Worth Road.

**Section 23.2-31(c) –Qualitative development standards**

1. **Harmonious and efficient organization.** All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of plot, the character of adjoining property and the type and size of buildings. The site shall be developed so as to not impede the normal and orderly development or improvement of surrounding property for uses permitted in these LDRs.

**Staff Response:** The surrounding buildings have various building sizes and uses, ranging from industrial uses to single-family residential. The project is split among three separate buildings instead of one large building, which splits up the building mass. The warehouse portion of the building is located on the side of the property closest to industrial uses and zoning district. The buildings are similar in architectural style, and the project provides a unified master sign plan, which ensures that the site is harmonious in aesthetic.

The proposed site plan includes an Administrative Adjustment (subject to LDR Section 23.2-28), which allows for an increase of 5% to the maximum allowed lot coverage. Therefore, instead of the maximum 55% total lot coverage, the application is proposing to cover 60% of the lot, leaving 40% of the lot as pervious area.

While the application includes a 5% increase in total lot coverage, the project is in similarity with surrounding industrial buildings and sites within the Mixed-Use West adjacent zoning districts. The property is providing additional parking space above what is required by code, this helps reduce any parking issues on and near the site.

2. **Preservation of natural conditions.** The natural (refer to landscape code, Article 6 of these LDRs) landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and by such other site planning approaches as are appropriate. Terrain and vegetation shall not be

disturbed in a manner likely to significantly increase either wind or water erosion within or adjacent to a development site. Natural detention areas and other means of natural vegetative filtration of stormwater runoff shall be used to minimize ground and surface water pollution, particularly adjacent to major waterbodies. Fertilizer/pesticide conditions may be attached to development adjacent to waterbodies. Marinas shall be permitted only in water with a mean low tide depth of four feet or more.

**Staff Response:** The lot is currently vacant. There are few to no trees on the lot, and the little vegetation that does exist has been determined by the City Horticulturist as not worthy or preserving. There are currently no bodies of water, and the site is mostly flat. The applicant has provided a landscape plan which adds a significant amount of trees and vegetation. The City Horticulturist has determined that the provided landscape plan meets landscape code.

3. Screening and buffering. Fences, walls or vegetative screening shall be provided where needed and practical to protect residents and users from undesirable views, lighting, noise, odors or other adverse off-site effects, and to protect residents and users of off-site development from on-site adverse effects. This section may be interpreted to require screening and buffering in addition to that specifically required by other sections of these LDRs, but not less.

**Staff Response:** The applicant is proposing a 10 to 20 foot landscape buffer along the west and south property line along Lake Worth Road and Boutwell Road, and a nine to 27.5 foot landscape buffer along the east and north property lines. The buffer is comprised of live oak trees, silver buttonwood trees, holly trees, gumbo limo trees, palm trees, and a coco plum hedge. Additionally, a wall will run along the east property line. While there are existing single-family homes on lots adjacent to the subject site, based on the site plan proposal, adequate screening has been provided to protect residents from any undesirable views, lighting, noise, odors or other adverse impacts.

4. Enhancement of residential privacy. The site plan shall provide reasonable, visual and acoustical privacy for all dwelling units located therein and adjacent thereto. Fences, walls, barriers and vegetation shall be arranged for the protection and enhancement of property and to enhance the privacy of the occupants.

**Staff Response:** The project is located between a large multi-family building opposite of Boutwell Road to the west and several single-family structures adjacent to the project to the east. The applicant is proposing a 6-foot high wall between the project and the single-family structures to the east, as well as providing the aforementioned landscape buffer. To the west, the project will be separated by the aforementioned landscape buffer, in addition to the existing right-of-way width of Boutwell Road. In addition, the applicant has stated that Buildings 2 and 3, which are closest to the single-family structures, will have a roof heights of 19.33 feet, maintaining a compatible height in relation to adjacent single-family structures. The combination of the wall, right-of-way, compatible height, and landscape buffer will provide reasonable, visual, and acoustical privacy for all dwelling units located adjacent to the project.

5. Emergency access. Structures and other site features shall be so arranged as to permit emergency vehicle access by some practical means to all sides of all buildings.

**Staff Response:** The applicant has proposed to provide drive aisles that range in width from 22-34 feet wide. All drive aisles will provide two-way access from both points of ingress and egress from Boutwell Road. The applicant states that emergency vehicles will have access to all sides of Buildings 1 and 2 on-

site, and Building 3 will have access from on-site drive aisles and public streets. The applicant also states that two fire hydrants will be installed on-site to conform to Palm Beach County Fire Rescue requirements, in addition to the existing fire hydrant on the east side of Boutwell Road.

6. Access to public ways. All buildings, dwelling units and other facilities shall have safe and convenient access to a public street, walkway or other area dedicated to common use; curb cuts close to railroad crossings shall be avoided.

**Staff Response:** The site plan shows two vehicular access points along Boutwell Road, both access points being two-way drive isles. Furthermore, there is a proposed continuous six-foot wide pedestrian path that runs throughout the site connecting all three buildings to each other and to the sidewalk along Lake Worth Road. This sidewalk will connect to the future sidewalk that will run along the east edge of Boutwell Road as part of the City's Boutwell Road Enhancement project. The attached traffic study completed for the site states that both AM and PM traffic shows the project will impact less than one-percent of the level of service volume for the surrounding roadways.

7. Pedestrian circulation. There shall be provided a pedestrian circulation system which is insulated as completely as reasonably possible from the vehicular circulation system.

**Staff Response:** As stated, there is a proposed continuous six-foot wide pedestrian path that runs throughout the site connecting all three buildings to each other and to the sidewalk along Lake Worth Road. This pedestrian path will connect to the future sidewalk that will run along the east edge of Boutwell Road as part of the City's Boutwell Road Enhancement project. The applicant states that the pedestrian path will provide ADA interconnectivity between the buildings.

8. Design of ingress and egress drives. The location, size and numbers of ingress and egress drives to the site will be arranged to minimize the negative impacts on public and private ways and on adjacent private property. Merging and turnout lanes traffic dividers shall be provided where they would significantly improve safety for vehicles and pedestrians.

**Staff Response:** The applicant states that the two proposed drive aisles off of Boutwell Road are so that no access is given to vehicles off of Lake Worth Road. Restricting access to Boutwell Road will not increase any vehicle conflict points on Lake Worth Road, and will not negatively impact the safety of Lake Worth Road. Pedestrian access to the site is also brought to where the sidewalk meets the intersection, allowing pedestrians the opportunity to cross Lake Worth Road or Boutwell Road at the signalized intersection. In addition, the large Multi-Family development opposite Boutwell Road does not have drive aisle directly onto Boutwell Road. Therefore, the location, size and number of ingress and egress points to the site appear to be minimal and do not pose negative impacts to adjacent properties or to Boutwell Road and Lake Worth Road. The submitted traffic study states that the net traffic for the proposed uses during the AM peak hour is 5 v/hr for entering traffic and 3 v/hr for exiting traffic, and 19 v/hr for entering traffic and 23 v/hr for exiting traffic during PM peak hour.

9. Coordination of on-site circulation with off-site circulation. The arrangement of public or common ways for vehicular and pedestrian circulation shall be coordinated with the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Minor streets shall not be connected to major streets in such a way as to facilitate improper utilization.

**Staff Response:** As described above, the pedestrian access to the site is connected to where the sidewalk meets the signalized intersection of Lake Worth Road and Boutwell Road. The applicant states that having the pedestrian access in this location minimizes the pedestrian interaction with vehicular traffic. Having the pedestrian access in this location also provides the pedestrian the opportunity to cross either Boutwell Road with Lake Worth Road at a signalized intersection, and allows the pedestrian to access between each building at a highly visible drive aisle crossing.

10. Design of on-site public right-of-way. On-site public street and rights-of-way shall be designed to for maximum efficiency. They shall occupy no more land than is required to provide access, nor shall they unnecessarily fragment development into small blocks. Large developments containing extensive public rights-of-way shall have said rights-of-way arranged in a hierarchy with local streets providing direct access to parcels and other streets providing no or limited access to parcels.

**Staff Response:** There are no on-site public right-of-ways proposed on the site plan.

11. Off-street parking, loading and vehicular circulation areas. Off-street parking, loading and vehicular circulation areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property.

**Staff Response:** As mentioned, the entire site, inclusive of the off-street parking, loading, and vehicular drive aisles, are screened from adjacent properties with the use of a six-foot high wall and continuous landscape buffer. The applicant states that the off-street circulation is designed to code. There are 64 parking spaces being provided, which meets and exceeds the requirement of 49 parking spaces. The loading area will be located on the east side of the site so as to not conflict with regular vehicle traffic on the site.

12. Refuse and service areas. Refuse and service areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property.

**Staff Response:** Refuse and service areas are proposed to be located on the east side of the property, adjacent to the loading area. The applicant states that the refuse area will be screen with a six-foot high concrete masonry unit enclosure. In addition, there will be the aforementioned landscape buffer of 15 feet and additional six-foot high wall to the east which helps buffer the dumpster from the adjacent property to the east.

13. Protection of property values. The elements of the site plan shall be arranged so as to have minimum negative impact on the property values of adjoining property.

**Staff Response:** The applicant states that the development is designed without negative impact to adjacent property values. The development of this lot as a mixed-use commercial and warehouse center will create additional commercial and warehouse tenant space in the Mixed-Use West zoning district, and will continue to add to the City's tax base.

14. Transitional development. Where the property being developed is located on the edge of the zoning district, the site plan shall be designed to provide for a harmonious transition between districts. Building exteriors shall complement other buildings in the vicinity in size, scale, mass, bulk, rhythm of openings and character. Consideration shall be given to a harmonious transition in height and design style so that

the change in zoning districts is not accentuated. Additional consideration shall be given to complementary setbacks between the existing and proposed development.

**Staff Response:** The applicant states that this criterion is not applicable. The buildings are situated on the site so that the industrial warehouse uses are located on the northerly portion of the site, closest to nearby industrial land uses and the city's I-POC zoning district, and the office and retail uses are located on the more visible southerly portion of the site, adjacent to Lake Worth Road, one of the city's major thoroughfares and compatible with nearby developments within the Mixed-Use West zoning district.

15. Consideration of future development. In finding whether or not the above standards are met, the review authority shall consider likely future development as well as existing development.

**Staff Response:** The applicant states that no future development at this project is proposed. As stated above, the proposed site plan meets the intent of the Mixed-Use West land use category in the City's Comprehensive Plan. The proposal appears to fit with the urban fabric of the surrounding parcels, and provides potential growth opportunities for the Industrial Park.

Section 23.2-31 (I) – Community appearance criteria

1. The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.

**Staff Response:** The proposed development of the subject site appears to be in conformity with good taste, good design, and contributes to the beautification of the City. The project massing is broken up into different, smaller buildings, and these buildings vary in height, which further breaks up the massing of the building and enhances the overall design of the site. The applicant states that the structures are lower in height and are in keeping with the adjoining residential property buildings. The design also meets the requirements of the Major Thoroughfare Design Guidelines, including but not limited to orienting the building toward the major thoroughfare (Lake Worth Road), putting the majority of parking behind the front building façade, and more.

2. The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.

**Staff Response:** The proposed development does not appear to be of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. In addition to the elements described in criterion 1 above, the applicant will also provide landscaping which will significantly increase the number and quality of trees and vegetation on the subject site.

3. The proposed structure or project is in harmony with the proposed developments in the general area, with code requirements pertaining to site plan, signage and landscaping, and the comprehensive plan for the City, and with the criteria set forth herein.

**Staff Response:** The proposed development of this site appears to be in harmony with the properties in the general area. As stated, much of the properties in the surrounding area, with the exception of the single-family structures, contain commercial and industrial uses, and vary in lot size and building height.



The multi-family development to the west of the site is also contains a building type that is compatible with nearby commercial development. As outlined earlier in this staff report, the project is in harmony with code requirements pertaining to site plan, signage, and landscaping as well as the City's Comprehensive Plan.

4. The proposed structure or project is in compliance with this section and 23.2-29, as applicable.

**Staff Response:** The application does not include a request for a Conditional Use Permit at this time. All businesses that will operate at this site will be subject to the review process outlined in the City's Use Table, LDR Section 23.3-6.

**CONSEQUENT ACTION:**

The Planning and Zoning Board's decision will be final for the Major Site Plan request. The Applicant may appeal the Planning and Zoning Board's decision to the City Commission.

**STAFF RECOMMENDATION:**

Staff has reviewed the documentation and materials provided, applying the applicable guidelines and standards found in the City of Lake Worth Zoning Code. The proposed Major Site Plan meets the criteria of the Comprehensive Plan, City's Strategic Plan and LDRs. Staff recommends that the Board approve the request for a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road.

**POTENTIAL MOTIONS:**

Having reviewed the staff report and all attachments, and having heard the testimony of staff, the applicant, and the public, I MOVE TO APPROVE the request for a **Major Site Plan** for a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road with the conditions recommended by staff in Attachment B, because the applicant has established by competent substantial evidence that the Major Site Plan meets the relevant criteria in the City's comprehensive plan, strategic plan, and LDRs.

Having reviewed the staff report and all attachments, and having heard the testimony of staff, the applicant, and the public, I MOVE TO DENY the request for a **Major Site Plan** for a +/-16,455 square foot mixed-use commercial and warehouse center at 2202 Lake Worth Road because the applicant has failed to establish by competent substantial evidence that the Major Site Plan meets the relevant criteria in the City's comprehensive plan, strategic plan, and LDRs.

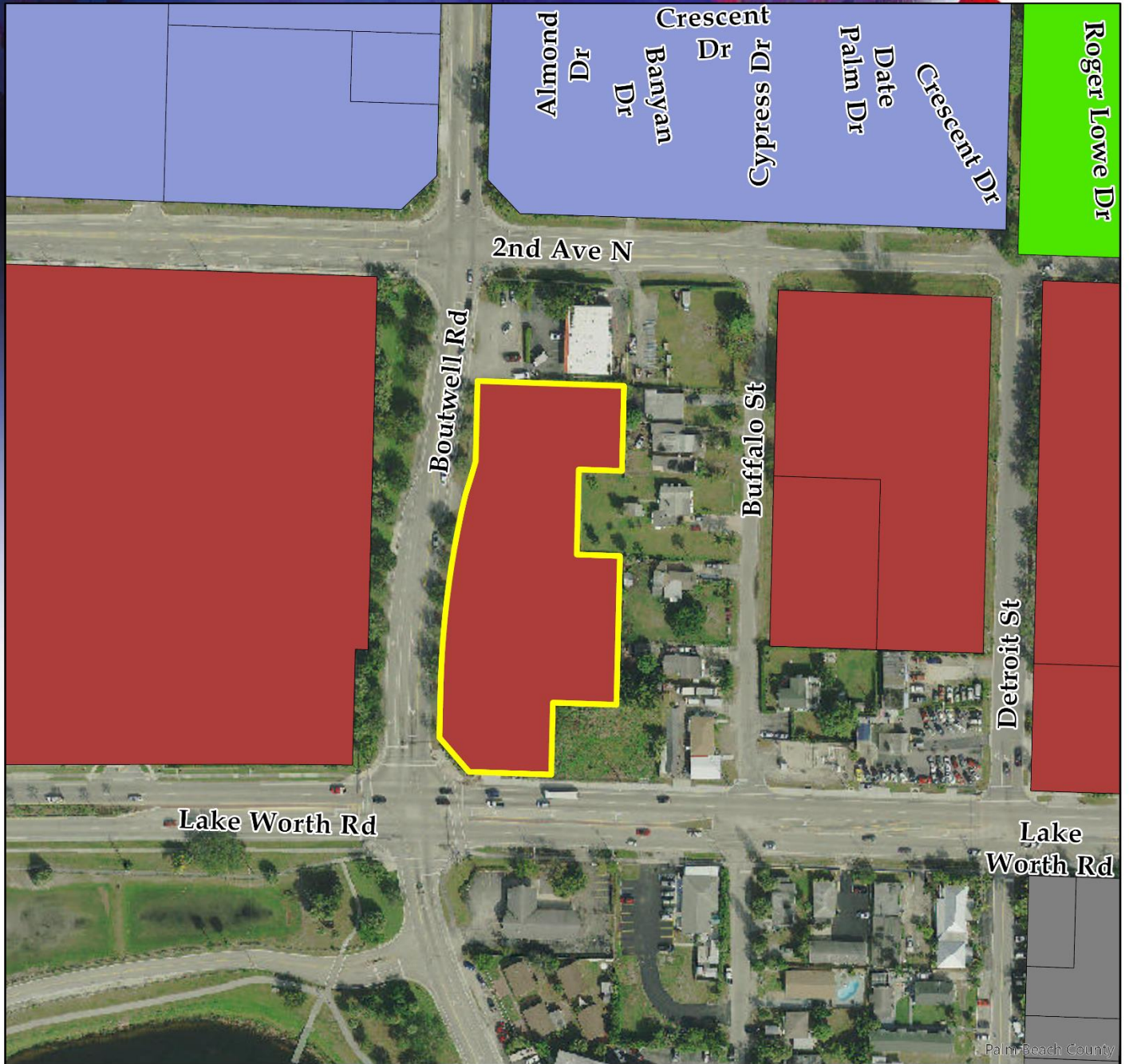
**ATTACHMENTS:**

- Attachment A: Zoning Map
- Attachment B: Conditions of Approval
- Attachment C: Development Application
- Attachment D: Site Plan Package
- Attachment E: Traffic Study
- Attachment F: Stormwater Calculations



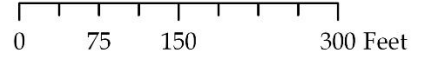
# Zoning Map 2202 Lake Worth Road

Department for Community Sustainability / Planning, Zoning & Historic Preservation



## Map Legend

- Mixed Use - West (MU-W)
- Public (P)
- Transit Oriented Development West (TOD-W)
- 2202 Lake Worth Road
- Industrial - Park of Commerce (I-POC)





## EXHIBIT B

DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
PLANNING, ZONING AND HISTORIC PRESERVATION DIVISION  
CONDITIONS OF APPROVAL FOR  
PZB CASE No. 19-01400011

**Date of Preparation:** January 23, 2020  
**P&ZB Meeting Date:** February 5, 2020  
**Applicant:** Robert Kuoppala of Kuoppala & Associates on behalf of Juan Padron  
**Location:** 2202 Lake Worth Road

CONDITIONS OF APPROVAL  
PZB CASE No. 19-01400011

**Utilities Electric:**

1. Prior to the issuance of a building permit:
  - a. Provide the load calculations and voltage requirements for each building.[AM1]
2. Prior to the issuance of a certificate of occupancy:
  - a. Record a 10-foot easement starting from the power pole located at the southeast corner of the property on Lake Worth Road to the northeast corner of the property.[AM2]

**Planning:**

1. Prior to the issuance of a building permit:
  - a. Provide a Traffic Performance Standards (TPS) letter
  - b. Per LDR Section 23.4-3(c)(4), ensure lighting shall be shielded and located to not allow light trespass upon neighboring residential properties or districts in excess of 12.57 lumens when measured on the property line.
  - c. Per LDR Section 23.5-1(b), all signage shall be applied for on a building permit and are subject to the Unified Master Sign Plan approved as part of this application.
  - d. Per LDR Section 23.2-21, fences/walls shall be applied for on a building permit and are subject to the regulations set forth in LDR Section 23.4-4.
2. Prior to the issuance of a certificate of occupancy:
  - a. Because there is no use approval associated with this request, all new businesses and uses must apply for and obtain a business license and are subject to the approval process outlined in LDR Section 23.3-6, Use Tables.

**Public Services:**

1. Prior to the issuance of a building permit:
  - a. The issuance of any permits shall comply with all provisions of the Lake Worth Municipal Code and all other applicable standards including but not limited to the Florida Department of Transportation (FDOT), Manual on Uniform Traffic Control Devices (MUTCD), and City of Lake Worth Public Services Construction Standards and Policy and Procedure Manual.
  - b. The applicant shall contact the Lake Worth Drainage (LWDD) District's Engineering Department and obtain any required permit(s), if necessary, and furnish to the City. Prior to the issuance of a building permit, the applicant shall contact the South Florida Water Management District's (SFWMD) Engineering Department and obtain any required permit(s), if necessary.
  - c. The Applicant shall contact and meet with a representative from the Public Services Solid Waste and Recycling Division to confirm dumpster enclosure location, accessibility and demand on property and that it is compatible with the requirements of the Department of Public Services. Solid Waste Division contact number is 561-533-7344.
  - d. The applicant shall submit an Erosion Control plan and indicate the BMP's and NPDES compliance practices.
2. Prior to the issuance of a certificate of occupancy:
  - a. The Applicant shall ensure the entire surrounding off-site infrastructure inclusive of the roadway, sidewalk, curbing, stormwater system piping and structures, valve boxes, manholes, landscaping, striping, signage, and other improvements are in the same condition as prior to construction.
  - b. The applicant shall fine grade and sod all disturbed areas with bahia sod.
  - c. The applicant shall broom sweep all areas of the affected right of way and remove all silt and debris collected as a result of construction activity.
  - d. The applicant shall restore the right of way to a like or better condition. Any damages to pavement, curbing, striping, sidewalks or other areas shall be restored in kind.
  - e. The applicant shall meet and satisfy all conditions of approval under jurisdiction of the Department of Public Services.

**Utilities, Water and Sewer:**

1. Prior to the issuance of a building permit:
  - a. If applicable, provide South Florida Water Management District and/or Lake Worth Drainage District permits.
  - b. Provide full utility drawings for the site with the building permit application.
  - c. The capacity charges for water and sewer must be paid in full. The capacity charge for water is \$3,659/ERU and sewer is \$2,483/ERU.



PLANNING & PRESERVATION DIVISION  
 DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
 CITY OF LAKE WORTH  
 1900 2<sup>ND</sup> AVENUE NORTH  
 LAKE WORTH, FL 33461  
 561.586.1687

2202 LAKE WORTH ROAD, LLC

**UNIVERSAL DEVELOPMENT APPLICATION**

This application is required for ALL applications submitted to the Planning, Zoning and Historical Preservation Division. Planning staff can answer any questions you have regarding the applications and the processes during Planner On-Call hours (Monday and Wednesday, 10:00 a.m. – 1:00 p.m., and Tuesday and Thursday 12:00 p.m. - 3:00 p.m.). Please make an appointment with planning staff if you require more than 15 minutes with a staff member.

Application Type (select all that apply):

- Site Plan – Minor       Site Plan – Major       Planned Development       Variance
- Subdivision/Plat       Conditional Use       Administrative Use       Mural
- Alcoholic Beverage Distance Proximity Waiver       Community Residence Proximity Waiver
- Gaming Establishment Distance Proximity Waiver       Adult Use Distance Proximity Waiver
- Sustainable Bonus Incentive Program       Certificate of Appropriateness       Sign Variance
- Rezoning (Zoning Map Amendment)       Zoning Text Amendment       Annexation
- Other: \_\_\_\_\_

Project Name: 2202 LAKE WORTH ROAD, LLC

Project Location: 2202 LAKE WORTH ROAD (S.E. CORNER OF BOUTWELL + LW RD.)

Legal Description: SEE ATTACHED      Date Platted: UNKNOWN

PCN: 38-43-44-20-01-117-0020 Existing Zoning: MU-WEST Proposed Zoning: NO CHANGE

Existing FLU: MU-WEST Proposed FLU: NO CHANGE

Proposed Use:  Residential; Density \_\_\_\_\_;  Commercial \_\_\_\_\_ SF;  Industrial \_\_\_\_\_ SF

Total Estimated Cost of the Project: UNKNOWN

FOR OFFICE USE ONLY			
PZ Project No.			
Associated Project Nos.			
Submittal Date		Sufficiency Date	
Project Planner Assigned			
Total Fee Amount	\$ _____	<input type="checkbox"/> PAID _____	<input type="checkbox"/> DUE _____

Project Manager/Contact Person: ROBERT KUOPPALA

Company: KUOPPALA + ASSOCIATES

Address: 925 SOUTH MILITARY TRAIL, D10, WEST PALM BEACH, FL. 33415  
(Street Address) (City) (State) (Zip)

Phone No.: (561) 682-1909 E-Mail Address: KUOPPALA@CITE@WSOUTH.NET

Applicant Name (if different from Project Manager): SAME AS PROJECT MANAGER

Company: \_\_\_\_\_

Address: \_\_\_\_\_  
(Street Address) (City) (State) (Zip)

Phone No.: \_\_\_\_\_ E-Mail Address: \_\_\_\_\_

Owner Name: JUAN PADRON

Company: 2202 LAKE WORTH ROAD, LLC

Address: 615 PINE LAKE DRIVE, DELRAY BEACH, FLA 33445  
(Street Address) (City) (State) (Zip)

Phone No.: (561) 801-3297 E-Mail Address: \_\_\_\_\_

**OWNER'S CONSENT**

2202 LAKE WORTH ROAD, LLC ("Owner") certifies that it is the owner of the property located at 2202 LAKE WORTH ROAD ("Subject Property") and expressly consents to the use of the Subject Property as described in this application and to all conditions that may be agreed to as a part of the approval of this application, which may be imposed by the decision making board.

Owner hereby authorizes ROBERT KUOPPALA, as agent, to file this application and represent Owner at any and all meetings and hearings required for the approval of this application.

Owner's Signature: [Signature] Date: 7-2-19  
Name/Title of Signatory: JUAN C. PADRON PRES

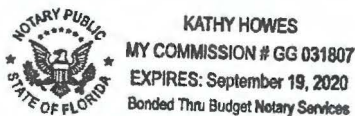
STATE OF FL  
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me this 2 day of July, 2019 by Juan Padron who is personally known to me or who produced a FL DL as identification. He/she did not take an oath.

(NOTARY SEAL)

[Signature]  
(Signature of Notary Public)

Kathy Howes  
(Name of Notary)



**PROJECT DATA**

**DESCRIPTION OF WORK:**

Provide a **detailed** description of work to be done as a result of this application (attach additional sheets if necessary).

CONSTRUCT 3 COMMERCIAL BUILDINGS WITH PARKING LOT, LANDSCAPING AND SITE LIGHTS AND UTILITIES

**PRIOR APPROVALS:**

Indicate any prior planning, zoning or building approvals that you are aware of for the property (attach additional sheets if necessary).

N/A

**ADJACENT PROPERTY INFORMATION:**

Complete the following table for all surrounding properties. Information located at [www.lakeworth.org/business/planning-zoning/](http://www.lakeworth.org/business/planning-zoning/).

Direction	Future Land Use	Zoning District	Current Use/ Name of Development
North	PBC	PBC CG	COMMERCIAL
South	PBC	PBC CS	COMMERCIAL
East	PBC	PBC CH	RESIDENTIAL (SFR)
West	MU-WEST (LYB)	MU-WEST (LYB)	RESIDENTIAL (MFR)

**DEVELOPMENT STANDARDS:**

Identify the applicable required and proposed development standards. If not applicable, enter "N/A". The "required" information can be located in Article 23 of the City's Code of Ordinances, Land Development Regulations, at [www.municode.com](http://www.municode.com).

Development Standard	Required	Provided	
Lot Size (Acreage and SF)	0.3 ACRES / 13,000 SF	1.77 ACRES / 77,316 SF	
Lot Width (Frontage)	100'	± 150'	
Building Height	Primary	maximum 30'-0"	
	Accessory	N/A	27'-4"
Setbacks	Front (SOUTH)	20'	20.16'
	Rear (NORTH)	10'	74.00'
	Side (EAST)	13.30'	13.83'
	Side (W-SIDE)	20'	24.00'
Living Area	Single-Family	N/A	N/A
	Multi-Family	N/A	N/A
Accessory Structure Limitation	N/A	N/A	
Impermeable Space Coverage	65%	52.86%	
Building Coverage	50%	21.28%	
Maximum Wall Height at Setback	30'-0"	27'-4"	
Floor Area Ratio Limitation	N/A	N/A	

**AFFIDAVIT OF COMPLETENESS AND ACCURACY**

**INSTRUCTIONS:** To be completed by the individual submitting the application (owner or authorized agent).

Project Name: 2202 LAKE WORTH ROAD, LLC Submittal Date: 7/18/19

**STATEMENT OF COMPLETENESS AND ACCURACY:**

I hereby certify all property owners have full knowledge the property they own is the subject of this application. I hereby certify that all owners and petitioners have been provided a complete copy of all material, attachments and documents submitted to the City of Lake Worth relating to this application. I further certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related application material and all attachments become official records of the Planning, Zoning and Historic Preservation Division of Lake Worth, Florida, and will not be returned. I understand that any knowingly false, inaccurate or incomplete information provided by me will result in the denial, revocation or administrative withdrawal of this application, request, approval or permit. I further acknowledge that additional information may be required by Palm Beach County to process this application. I further acknowledge that any plans that I have prepared or had prepared comply with the Fair Housing Standards. I further consent to the City of Lake Worth to publish, copy or reproduce any copyrighted documents submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Check (✓) one: I am the  property owner  authorized agent.

ROBERT KUOPPALA  
(Name - type, stamp or print clearly)

Robert Kuoppala  
(Signature)

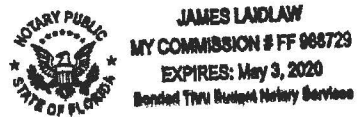
KUOPPALA + ASSOCIATES  
(Name of Firm)

925 S. MILITARY TRAIL - SUITE D10  
(Address, City, State, Zip) WEST PALM BEACH,  
FLORIDA 33415

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this 6 day of July, 2019 by Robert Kuoppala who is personally known to me or who produced a \_\_\_\_\_ as identification. He/she did not take an oath.

(NOTARY SEAL)



James Laidlaw  
(Signature of Notary Public)  
James Laidlaw  
(Name of Notary)



**SIGN POSTING AGREEMENT**

(REQUIRED FOR ALL HISTORIC APPLICATIONS AND ALL PUBLIC HEARING ITEMS)

Applicant: ROBERT KUOPPALA

Property Owner: 2202 LAKE WORTH ROAD

Contact Phone No.: (561) ~~452~~ 682-1909

Property Location: 2202 LAKE WORTH ROAD

I, ROBERT KUOPPALA, hereby affirm that I will post the notification sign(s) provided to me for a minimum of ten (10) calendar days before the scheduled date of the hearing of Planning and Zoning Case No. \_\_\_\_\_.

Signature: *Robert Kuoppala* Date: 7/11/19

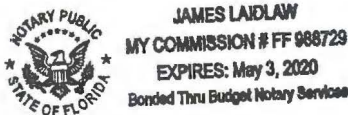
Name/Title of Signatory: ROBERT KUOPPALA - ARCHITECT

STATE OF Florida  
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me this 12 day of July, 2019 by Robert Kuoppala who is personally known to me or who produced a \_\_\_\_\_ as identification. He/she did not take an oath.

(NOTARY SEAL)

*James Laidlaw*  
(Signature of Notary Public)  
James Laidlaw  
(Name of Notary)





PLANNING & PRESERVATION DIVISION  
 DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
 CITY OF LAKE WORTH  
 1900 2<sup>ND</sup> AVENUE NORTH  
 LAKE WORTH, FL 33461  
 561.586.1687

2202 LAKE WORTH ROAD, LLC

**MAJOR SITE PLAN APPLICATION CHECKLIST**

**Three (3) hard copies and one (1) electronic copy** of the following materials are required in order for a **Major Site Plan Application** to be deemed complete and sufficient to present to the decision making board.

- Mandatory Pre-Application Meeting; Date of Meeting: 12/18
- Application Fee(s): \$ 3,000.00
  - Major Site Plan Approval: \$3,000
  - Major Site Plan Amendment: \$1,500
  - Additional SPRC Meeting (apply at 3<sup>rd</sup> meeting): \$250
- Universal Development Application
- Owner's Certificate and Designation of Agent
- Affidavit of Completeness and Accuracy
- Sign Posting Agreement
- Warranty Deed
- Survey (signed and sealed by a FL-registered land surveyor and abstracted within 2 years)
- Legal Description (signed and sealed by a FL-registered land surveyor)
- Photographs of the Subject Site and Adjacent/Surrounding Properties
- Site Plan and Specifications, prepared by a Registered Professional Engineer or Architect, including the following information at a minimum:
  1. The exact property lines of the property for which site plan approval is requested, including existing street and right-of-way lines;
  2. Adjacent properties on the same frontage, indicating the locations of buildings and structures on such adjacent properties, means of ingress and egress to such properties, off-street parking, loading and service areas, if any, for or on such properties, and any screening of buffers on such properties and the nature and type thereof;
  3. Location of present and proposed structures on the site;
  4. Location and dimensions of all required yards;
  5. Location of facilities for ingress and egress to the site, including existing and proposed curb cuts, if any, and proposed directions of traffic flow on the site and into and from public rights-of-way;
  6. Location and dimensions of off-street parking, loading and service areas;
  7. Location and dimensions of areas for service to the property and for refuse disposal and recyclable material collection and storage.;
  8. Location of all utilities and easements;
  9. Location and dimensions of all signs and exterior lighting facilities to be placed on the site

**PLEASE REFER TO THE DETAILED "SITE PLAN TECHNICAL REQUIREMENTS CHECKLIST" FOR SITE PLAN TECHNICAL REQUIREMENTS**

- Drainage Plan, prepared by a Registered Professional Engineer
- Landscape Plan, prepared by a Registered Landscape Architect
- Architectural Plans, prepared by a Registered Architect
- Color Renderings of the Site Plan and Building Elevations
- Samples of the Color Treatments

- Project Narrative addressing the following:
- a. Project Location
  - b. Current Zoning and Land Use Designation
  - c. Proposed Zoning and Land Use Designation (if applicable)
  - d. Existing Use (if applicable)
  - e. Project Background
  - f. Site Characteristics
  - g. Surrounding Property Information – Uses, Architectural Style and Size
  - h. Justification of the Proposal
  - i. Compliance with the Site Design Qualitative Standards in Section 23.2-31, which are as follows:
    - ✓ 1. Harmonious and efficient organization. All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of plot, the character of adjoining property and the type and size of buildings. The site shall be developed so as to not impede the normal and orderly development or improvement of surrounding property for uses permitted in these LDRs.
    - ✓ 2. Preservation of natural conditions. The natural (refer to landscape code, Article 6 of these LDRs) landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and by such other site planning approaches as are appropriate. Terrain and vegetation shall not be disturbed in a manner likely to significantly increase either wind or water erosion within or adjacent to a development site. Natural detention areas and other means of natural vegetative filtration of stormwater runoff shall be used to minimize ground and surface water pollution, particularly adjacent to major waterbodies. Fertilizer/pesticide conditions may be attached to development adjacent to waterbodies. Marinas shall be permitted only in water with a mean low tide depth of four (4) feet or more.
    - ✓ 3. Screening and buffering. Fences, walls or vegetative screening shall be provided where needed and practical to protect residents and users from undesirable views, lighting, noise, odors or other adverse off-site effects, and to protect residents and users of off-site development from on-site adverse effects. This section may be interpreted to require screening and buffering in addition to that specifically required by other sections of these LDRs, but not less.
    - ✓ 4. Enhancement of residential privacy. The site plan shall provide reasonable, visual and acoustical privacy for all dwelling units located therein and adjacent thereto. Fences, walks, barriers and vegetation shall be arranged for the protection and enhancement of property and to enhance the privacy of the occupants.
    - ✓ 5. Emergency access. Structures and other site features shall be so arranged as to permit emergency vehicle access by some practical means to all sides of all buildings.
    - ✓ 6. Access to public ways. All buildings, dwelling units and other facilities shall have safe and convenient access to a public street, walkway or other area dedicated to common use; curb cuts close to railroad crossings shall be avoided.
    - ✓ 7. Pedestrian circulation. There shall be provided a pedestrian circulation system which is insulated as completely as reasonably possible from the vehicular circulation system.
    - ✓ 8. Design of ingress and egress drives. The location, size and numbers of ingress and egress drives to the site will be arranged to minimize the negative impacts on public and private ways and on adjacent private property. Merging and turnout lanes traffic dividers shall be provided where they would significantly improve safety for vehicles and pedestrians.
    - ✓ 9. Coordination of on-site circulation with off-site circulation. The arrangement of public or common ways for vehicular and pedestrian circulation shall be coordinated with the pattern

of existing or planned streets and pedestrian or bicycle pathways in the area. Minor streets shall not be connected to major streets in such a way as to facilitate improper utilization.

10. Design of on-site public right-of-way. On-site public street and rights-of-way shall be designed for maximum efficiency. They shall occupy no more land than is required to provide access, nor shall they unnecessarily fragment development into small blocks. Large developments containing extensive public rights-of-way shall have said rights-of-way arranged in a hierarchy with local streets providing direct access to parcels and other streets providing no or limited direct access to parcels.
  11. Off-street parking, loading and vehicular circulation areas. Off-street parking, loading and vehicular circulation areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property.
  12. Refuse and service areas. Refuse and service areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property.
  13. Protection of property values. The elements of the site plan shall be arranged so as to have minimum negative impact on the property values of adjoining property.
  14. Transitional development. Where the property being developed is located on the edge of the zoning district, the site plan shall be designed to provide for a harmonious transition between districts. Building exteriors shall complement other buildings in the vicinity in size, scale, mass, bulk, rhythm of openings and character. Consideration shall be given to a harmonious transition in height and design style so that the change in zoning districts is not accentuated. Additional consideration shall be given to complementary setbacks between the existing and proposed development.
  15. Consideration of future development. In finding whether or not the above standards are met, the review authority shall consider likely future development as well as existing development.
- j. Compliance with Community Appearance Criteria Section 23.2-31(l), which are as follows:
1. The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
  2. The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
  3. The proposed structure or project is in harmony with the proposed developments in the general area, with code requirements pertaining to site plan, signage and landscaping, and the comprehensive plan for the City, and with the criteria set forth herein.
  4. The proposed structure or project is in compliance with this section and 23.2-29, as applicable.

FOR OFFICE USE ONLY			
PZ Project No.			
Associated Project Nos.			
Submittal Date		Sufficiency Date	
Project Planner Assigned			



PLANNING & PRESERVATION DIVISION  
 DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
 CITY OF LAKE WORTH  
 1900 2<sup>ND</sup> AVENUE NORTH  
 LAKE WORTH, FL 33461  
 561.586.1687

2202 LAKE WORTH ROAD, LLC

**SITE PLAN TECHNICAL REQUIREMENTS CHECKLIST**

The following items should be included on all site plans submitted to the City of Lake Worth.

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. Date, north arrow, and a graphic scale.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. Vicinity map showing the property in relation to the surrounding area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. Location of the property line, right-of-way, proposed/existing easements, water courses and other essential features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4. Streets, driveways, intersections, curbs cuts and turning lanes adjacent to or across from the subject property. Indicate directional flow with arrows, on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. The outlines of all buildings showing their proposed uses, setbacks, dimensions, Floor area, number of stories, and points of access. Elevations from ALL perspectives, height to top of roof should be indicated on Elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. Location, dimensions and detail of all perimeter treatment (sidewalks, fences, walls, or berms).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7. Location, height, size and detail of all freestanding signs and other accessory structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8. Phasing of the site including any temporary access drives, uses, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Location and width of any proposed dedication of property for public road right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10. Means of vehicular (indicate with arrows) and pedestrian access to and from the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11. Layout and location of all off-street parking, loading and other vehicular use areas, including where applicable, the distance from the principle uses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12. Location of all disabled spaces, ramps and signs.

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13. Location, dimensions and intensity of all outdoor illumination.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	14. Location of existing and proposed fire hydrants (or operational equivalents) within 250 feet of the proposed structure or structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	15. Accessibility, location and screening of all garbage receptacles.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16. Standard City details of parking (small car, handicap space, and standard space), handicap ramps, driveways, dumpsters and signs.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17. Location, dimensions and screening of all proposed satellite dishes.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	18. Supply a data table which indicates the following: <ul style="list-style-type: none"> <li>a. Existing/Proposed Zoning District</li> <li>b. Existing/Proposed Future Land Use Designation</li> <li>c. Required/Permitted and Proposed Lot Area</li> <li>d. Required/Permitted and Proposed Lot Width</li> <li>e. Required/Permitted and Proposed Building Height (Primary Structure)</li> <li>f. Required/Permitted and Proposed Building Height (Accessory Structure)</li> <li>g. Required/Permitted and Proposed Building Setbacks (Front, Rear, Side and Side Street if applicable)</li> <li>h. Required/Permitted and Proposed Residential Density (if applicable)</li> <li>i. Required/Permitted and Proposed Living Area (Primary Structure – if applicable)</li> <li>j. Required/Permitted and Proposed Living Area (Accessory Structure – if applicable)</li> <li>k. Required/Permitted and Proposed Impermeable Surface</li> <li>l. Required/Permitted and Proposed Lot Coverage for Buildings</li> <li>m. Required/Permitted and Proposed Wall Height at Side Setback</li> <li>n. Required/Permitted and Proposed Floor Area Ratio</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19. Locate all underground piping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	20. Site and Location of sanitary sewer connections and air conditioning units



CFN 20130227641  
OR BK 26036 PG 0896  
RECORDED 05/22/2013 09:29:28  
Palm Beach County, Florida  
AMT 340,000.00  
Doc Stamp 2,380.00  
Sharon R. Bock, CLERK & COMPTROLLER  
Pgs 0896 - 898; (3pgs)

Return to:

Keith H. Park, Esq.  
P. O. Box 3563  
West Palm Beach, FL 33402

This instrument prepared by:

Keith H. Park, Esq.  
P. O. Box 3563  
West Palm Beach, FL 33402

Property Appraisers Parcel Identification (Folio) Number(s): 38-43-44-20-01-117-0020

**WARRANTY DEED**

**THIS WARRANTY DEED** Made this the 17<sup>th</sup> day of May, A.D. 2013, by **Kenneth L. Groves, Individually, and as Trustee of the Land Trust Agreement dated April 12, 2005**, with its address being 7231 Southern Boulevard, Unit C-2, West Palm Beach, FL 33413 (hereinafter called the "Grantor"), to **Juan Padron and Sylvia Padron**, his wife, with their address being 12950 Cocoapine Drive, Boynton Beach, FL 33436 (hereinafter called the "Grantee"):

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

**Witnesseth:** That the Grantor, for and in consideration of the sum of TEN DOLLARS AND NO/100 (\$10.00) Dollars, and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, conveys and sells to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach County, State of Florida, to-wit:

**As more particularly described in Exhibit "A" attached hereto.**

Street address: **2202 Lake Worth Road, Lake Worth, FL 33460**

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or otherwise appertaining, but SUBJECT TO restrictions, covenants, reservations and easements of records, if any, and taxes subsequent to December 31, 2012.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND said Grantor hereby covenants with said Grantee that it is lawfully seized of said land in fee simple; that it has good and lawful authority to sell and convey said land in fee simple; that it hereby fully warrants the title to said land and will defend the same against the lawful claim of all persons whomsoever and said land is not the homestead property of Grantor and is vacant land.

\*\*"Grantor" and "Grantee" are used for singular or plural, as context requires.





**Exhibit "A"**

**Parcel 1:**

The West 15 feet of the East 91.0 feet of the South 191.8 feet of Tract 116; the East 76.0 feet of Tract 116; and the West 41.0 feet of Tract 117, Model Land Co. Subdivision of Section 20, Township 44 South, Range 43 East, according to the Plat thereof, as recorded in Plat Book 5, Page 79, of the Public Records of Palm Beach County, Florida.

LESS AND EXCEPTING THEREFROM, the Right-of-Way for State Road 802, also known as Lake Worth Road, as set forth in Official Records Book 290, Page 84, and Road Plat Book 2, Page 97, both of the Public Records of Palm Beach County, Florida.

FURTHER LESS AND EXCEPTING THEREFROM, a parcel of land, commonly referred to as Parcel 102 for the Right-of-Way for the Boutwell Road Extension, as conveyed to Palm Beach County, by Warranty Deed recorded in Official Records Book 12106, Page 1198, of the Public Records of Palm Beach County, Florida, being more particularly described as follows:

Commence at the Southeast corner of said Section 20; thence along the South line of said Section 20, North 88° 03' 52" West (bearing basis) 764.64 feet to the West line of the East 91.00 feet of said Tract 116 and its Southerly extension thereof; thence along said West line, 01 degree 24' 38" East 66.25 feet to the North Right-of-Way line of Lake Worth Road (State Road S-802) as described in Official Records Book 290, Page 84 of the Public Records of Palm Beach County, Florida, and the POINT OF BEGINNING; thence continue North 01 degree 24' 38" East 140.56 feet to the North line of the South 191.80 feet of said Tract 116; thence along said North line, South 88° 03' 52" East 15.00 feet to the West line of the East 76.00 feet of said Tract 116; thence along said West line, North 01° 24' 38" East 468.81 feet to the North line of said Tracts 116 and 117; thence along said North line, South 87° 41' 42" East 117.01 feet to the East line of the West 41.00 feet of said Tract 117; thence along said East line, also being the West Right-of-way line of Arcand Street per Plat Book 4, Page 8, of the Public Records of Palm Beach County, Florida, South 01° 24' 38" West 238.04 feet to a point on a 1186.00 foot radius non-tangent curve concave to the West whose radius point bears North 78° 19' 46" West; thence Southerly along said curve through a central angle of 02° 08' 26" an arc distance of 44.31 feet to a point of reverse curvature of a 1106.00 foot radius curve concave to the East; thence Southerly along said curve through a central angle of 11° 52' 32" an arc distance of 229.24 feet to a point of tangency; thence South 01 degree 56' 08" West 58.69 feet; thence South 43 degrees 03' 52" East 49.95 feet; thence South 01 degree 24' 38" West 4.70 feet to the North Right-of-Way line of the aforementioned Lake Worth Road; thence along said Right-of-Way, North 88° 03' 52" West 39.92 feet to a point of curvature of a 5779.65 foot radius curve concave to the South; thence Westerly along said curve and said North Right-of-Way line through a central angle of 00° 54' 46" an arc distance of 92.09 feet to the POINT OF BEGINNING.

**Parcel 2:**

Lots 34 through 42, LESS the South 34.0 feet of Lots 34 and 35, for the Right-of-Way for State Road 802, also known as Lake Worth Road; and Lots 47 through 50, all in Block 1, of Buffalo Heights, according to the Plat thereof, as recorded in Plat Book 4, Page 8, of the Public Records of Palm Beach County, Florida.

**Parcel 3:**

The West 75.00 feet of Lots 43, 44, 45, and 46, Block 1, of Buffalo Heights, according to the Plat thereof, as recorded in Plat Book 4, Page 8, of the Public Records of Palm Beach County, Florida.

**KUOPPALA & ASSOCIATES, P.A.**  
**ARCHITECTS**

925 S. MILITARY TRAIL D-10  
WEST PALM BEACH, FL. 33415

www.kuoppala.com  
#AAC 001656

(561) 682-1909  
(561) 682-1975 Fax

July 5, 2019

City of Lake Worth Beach Planning/Zoning Department  
1900 2nd Ave. North  
Lake Worth, Florida 33461

Re: 2202 Lake Worth Road, LLC  
2202 Lake Worth Road  
Comm. No. 18-23

**PROPERTY DESCRIPTION (PER SURVEY)**

ALL THAT PART OF TRACT 117, MODEL LAND COMPANY SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING EAST OF THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 12106, PAGE 1198, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

ALL THAT PORTION OF ARC AND STREET, AS SHOWN ON THE PLAT OF BUFFALO HEIGHTS, AS RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF LAKE WORTH ROAD (STATE ROAD 802) AS SHOWN ROAD PLAT BOOK 2, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LYING SOUTH OF THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 50, AS SHOWN ON SAID PLAT. SAID PARCEL BEING A PORTION OF ARCAND STREET ABANDONED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY BY RESOLUTION R-2001-576, AND RECORDED IN OFFICIAL RECORD BOOK 12520, PAGE 395 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 34 THROUGH 42, LESS THE SOUTH 34.0 FEET OF LOTS 34 AND 35, FOR THE RIGHT OF WAY FOR STATE ROAD 802, ALSO KNOWN AS LAKE WORTH ROAD; AND LOTS 47 THROUGH 50, ALL IN BLOCK 1, OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1, OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**KUOPPALA & ASSOCIATES, P.A.**  
**ARCHITECTS**

925 S. MILITARY TRAIL D-10  
WEST PALM BEACH, FL. 33415

www.kuoppala.com  
#AAC 001656

(561) 682-1909  
(561) 682-1975 Fax

July 5, 2019

City of Lake Worth Beach Planning/Zoning Department  
1900 2nd Ave. North  
Lake Worth, Florida 33461

Re: 2202 Lake Worth Road, LLC  
2202 Lake Worth Road  
Comm. No. 18-23

**PROJECT NARRATIVE**

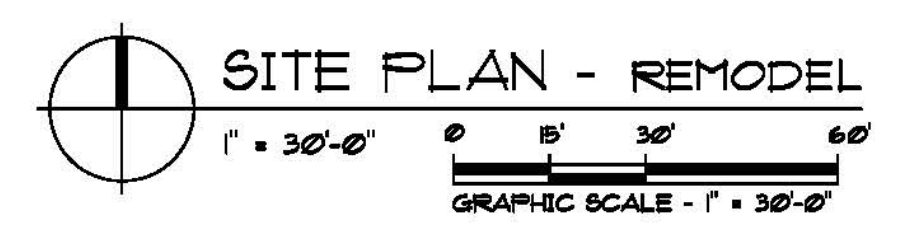
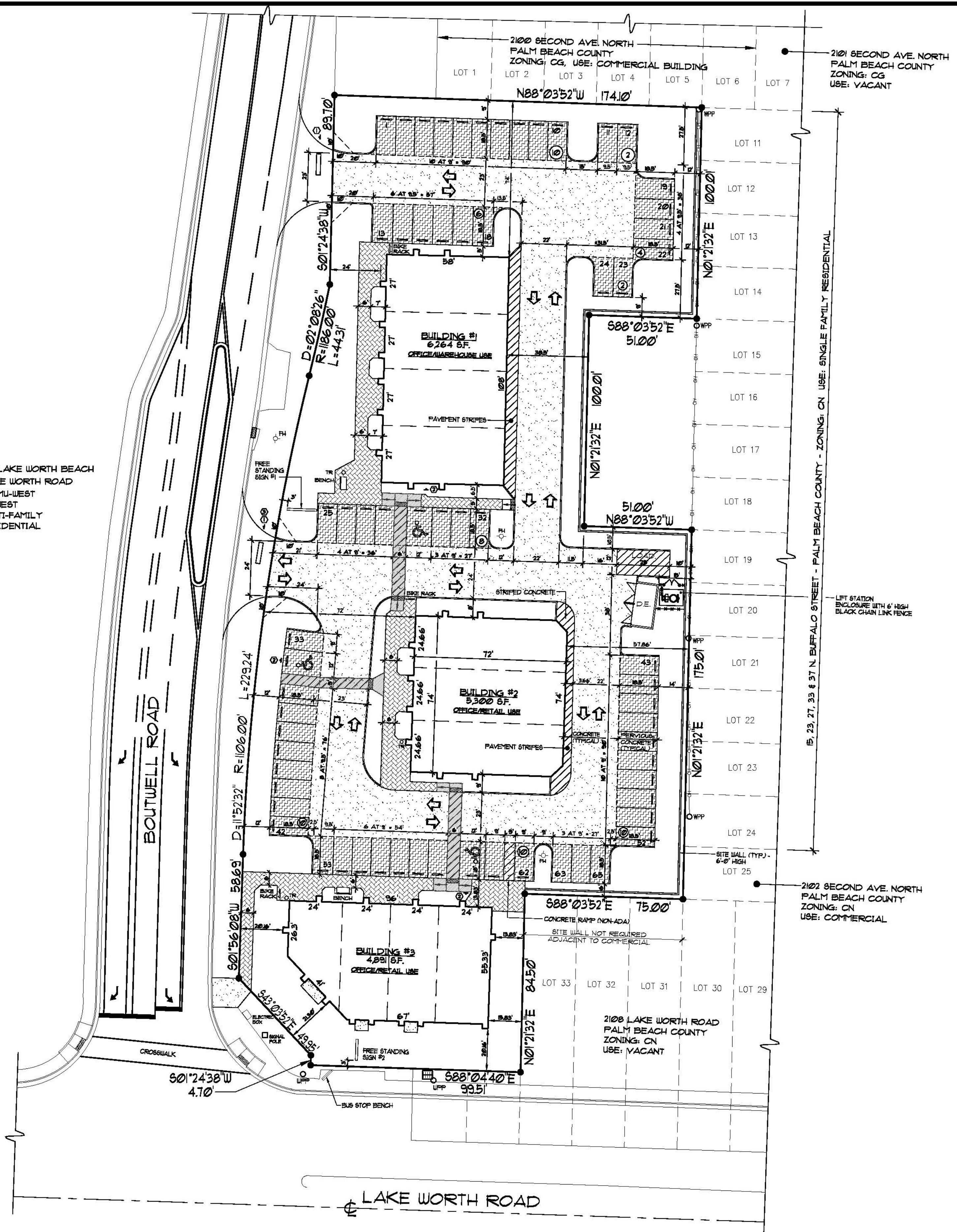
- A) Location – NE corner of Lake Worth Road and Boutwell Road.
- B) Current Zoning & FLU – MU-W (Mixed Use West).
- C) N/A.
- D) Lot is now vacant.
- E) Project background unknown.
- F) Site characteristics –Flat and undeveloped.
- G) **SURROUNDING PROPERTIES:**
  - A) USES – See Sheet SP-1.
  - 2) Architectural Styles:
    - A) Commercial building at north is small and generic.
    - B) SFR houses at east are old and small.
    - C) MFR apartments at west are Key West Design.
- H) **PROPOSAL JUSTIFICATION:**

Project meets all requirements of Zoning Code with functional parking, enhanced landscaping, site lights, and three beautiful buildings.
- I) **SITE DESIGN QUALITATIVE STANDARDS PER SECTION 23.2-3:**
  - 1) Project complies with all Zoning Code requirements and has three smaller buildings, keeping with adjoining properties, in lieu of one large building.
  - 2) Landscaping complies with Zoning Code requirements. There are no existing on-site trees or bodies of water.
  - 3.) The adjacent residential properties east of site shall be screened with a solid 6’ high wall/fence, continuous hedge and trees at 20’ on center. Site lighting levels are 0 FC to 0.1 FC at common property line. The east wall of Buildings #1 & 2 are only 19’-4” high, keeping in height relation to adjacent SFR houses.
  - 4.) RESIDENTIAL PRIVACY ENHANCEMENT – See Response #3 above.

- 5.) Emergency vehicles have access to all sides of Buildings #1 & 2. Building #3 has site access to north, front wall and off-site access (from public streets) to south and west walls. Two fire hydrants shall be installed on-site to conform to PBCFR requirements. There is an existing off-site fire hydrant at east side of Boutwell Road.
  - 6.) Site has two walkways to the west property line for access to public street. All buildings have ADA access interconnectivity.
  - 7.) ADA on-site pedestrian circulation is provided between all buildings and to street.
  - 8.) Two ingress/egress driveways to Boutwell Road are provided away from street.
  - 9.) On-site and off-site vehicular and pedestrian circulations are coordinated to minimize interaction between vehicles and pedestrians providing a safe campus.
  - 10.) Not applicable.
  - 11.) Off-street circulation is designed to Codes and is screened from adjacent properties with landscaping and a site wall adjacent to residential properties.
  - 12.) Refuse area is screened with 6' high CMU wall.
  - 13.) Project designed without negative impact to adjacent property values.
  - 14.) Not applicable.
  - 15.) No future development at this project.
- J) COMPLIANCE WITH COMMUNITY APPEARANCE CRITERIA SECTION 23.2-31(L):
- 1.) The proposed structures are aesthetically pleasing with multiple exterior finishes and colors. The structures are low in height keeping with the adjoining residential property buildings.
  - 2.) See Response #1 above.
  - 3.) The buildings will be very attractive per Response #1 above. The project has an abundance of landscaping designed by a Florida licensed landscape architect. Signage conforms to Code. Overall project conforms to all Zoning Codes and Comprehensive Plan. No variances or technical deviations are requested.
  - 4.) Project is in compliance with Section 23.2-31(L) and applicable portions of Section 23.2-29.



CITY OF LAKE WORTH BEACH  
 2202 LAKE WORTH ROAD  
 ZONING: MU-WEST  
 FLU: MU-WEST  
 USE: MULTI-FAMILY RESIDENTIAL



SITE PLAN - REMODEL

215 LAKE WORTH ROAD  
 PALM BEACH COUNTY  
 ZONING: C6  
 USE: COMMERCIAL

2101 LAKE WORTH ROAD  
 PALM BEACH COUNTY  
 ZONING: C6  
 USE: COMMERCIAL

- SITE PLAN NOTES:**
- 1.) Site Plan based upon survey prepared by Lidberg Surveying, Inc. Drawing #D05-061, Job #05-0610100, dated 5/25/05 and updated thru 2/7/19 and signed/sealed by David D. Lidberg, Florida PSM #3613.
  - 2.) All utilities shall be underground.
  - 3.) The project shall be constructed in one phase or multiple phases (to be determined).
  - 4.) No directional signs on site.
  - 5.) Landscaping shall not be planted in utility easements, except as shown.
  - 6.) Building and roof overhangs shall not encroach in easements.
  - 7.) All driveways within 100' of subject property shown.
  - 8.) No landscaping shall be installed in site triangles except for plantings permitted per FDOT design standards Index #546.
  - 9.) Electrical service shall be single phase fed from east power poles.
  - 10.) Master sign program by others.

**PROJECT DATA:**

PRINCIPAL USE: OFFICE, RETAIL, WAREHOUSE  
 ZONING: MIXED USE - WEST (MU-W)  
 LAND USE: MIXED USE - WEST (MU-W)  
 LOT SIZE: 77,316 s.f. (1.77 ACRES)

**DISTRIBUTION:**

Building Area	= 16,455 S.F. = 21.28% < 50% Maximum (One Story Building)
Impervious Area	= 29,910 S.F. = 38.72% - Note #1
Pervious Area	= 30,951 S.F. = 40.00% - Note #1
TOTAL	= 77,316 S.F. = 100.00% lot coverage

NOTE #1 - PERVIOUS CONCRETE AT PARKING STALLS AND ON-SITE WALKWAYS COUNT AS 50% PERVIOUS AREA

F.A.R. = 0.2128

**PARKING REQUIREMENTS:**

OFFICE	- 1 SPACE PER 300 S.F.
RETAIL	- 1 SPACE PER 200 S.F.
WAREHOUSE	- 1 SPACE PER 500 S.F.

**BUILDING #1** = 6,284 S.F.  
 100% RETAIL (NOTE A) = 5,312 S.F. / 200 S.F. = 27 SPACES

**BUILDING #2** = 5,300 S.F.  
 100% RETAIL (NOTE A) = 4,892 S.F. / 200 S.F. = 24 SPACES

**BUILDING #3** = 4,891 S.F.  
 100% RETAIL (NOTE A) = 4,892 S.F. / 200 S.F. = 24 SPACES

TOTAL = 65 SPACES REQUIRED = 65 SPACES PROVIDED

NOTE 'A': ALL OR PART OF BUILDING MAY BE USED FOR OFFICES.

3 handicapped spaces required and 3 provided within 65 provided stalls. Parking stalls shall be double striped per "Typical Parking Stalls Details" on Sheet R-1. 1 loading space required with 1 provided.

All stalls shall be striped and have concrete wheel stops. All landscaped areas shall be curbed or protected with wheel stops. Parking lot shall be 6" concrete or asphalt. Handicapped stalls shall have approved sign on pole and pavement marking.

**BUILDING:**

Required Setbacks	Actual Setbacks
Front (South) - 20' TO 30'	Front (South) - 22.16'
Rear (North) - 10'	Rear (North) - 71.33'
Interior Side (East) - 13'	Interior Side (East) - 13.83'
Street Side (West) - 20'	Street Side (West) - 21.30'

Maximum Height - 30'-0" Height = 22'-8" at Building #1 & 2  
 27'-4" at Building #3

**BUILDING TYPE:** Type 5, unprotected and fire sprinkled at Buildings #1 & 2  
 Type 6, unprotected and unsprinkled at Building #3

**HOURS OF OPERATION:**  
 Monday thru Friday - 6:00 A.M. to 10:00 P.M.  
 Saturday & Sunday - 7:00 A.M. to 10:00 P.M.

Flood Zone 'X' - per FIRMAP 120099C 077F - Dated October 5, 2017

**SIGN SCHEDULE:** Signs shall comply with M.U.T.C.D.

- 1 Stop Sign with Stop Bar
- 2 Handicapped Sign with \$250 Fine
- 3 Right Turn Only

PCN # 38 - 43 - 44 - 20 - 01 - 117 - 0020

**OWNER:**  
 2202 LAKE WORTH ROAD, LLC  
 615 Pine Lake Drive  
 Delray Beach, Florida 33445

**CIVIL ENGINEER:**  
 McLEOD, MCCARTHY & ASSOCIATES, P.A.  
 1655 Palm Beach Lakes Blvd - Suite 901  
 West Palm Beach, Florida 33401  
 (561) 689-9500

**SITE LIGHTING DESIGNER:**  
 KUOPPALA & ASSOCIATES, P.A.  
 925 South Military Trail - Suite D-10  
 West Palm Beach, Florida 33415  
 (561) 682-1909

**LANDSCAPE ARCHITECT:**  
 LITTECKER LANDSCAPE ARCHITECTURE  
 2740 S.W. Martin Downs Blvd., Suite #199  
 Palm City, Florida 34980  
 (888) 719-3876

**TRAFFIC ENGINEER:**  
 H. BURTT SMITH  
 825 Whipoorwill Trail  
 West Palm Beach, Florida 33411  
 (561) 798-5058

**SURVEYOR:**  
 LIDBERG SURVEYING, INC.  
 675 W. Indiantown Road - Suite 200  
 Jupiter, Florida 33408  
 (561) 746-8454

**PROPERTY DESCRIPTION (PER SURVEY)**

ALL THAT PART OF TRACT 117, MODEL LAND COMPANY SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 12106, PAGE 1198, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

ALL THAT PORTION OF ARC AND STREET, AS SHOWN ON THE PLAT OF BUFFALO HEIGHTS, AS RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF LAKE WORTH ROAD (STATE ROAD 802) AS SHOWN ROAD PLAT BOOK 2, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LYING SOUTH OF THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 50, AS SHOWN ON SAID PLAT, SAID PARCELS BEING A PORTION OF ARCAD STREET ABANDONED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY BY RESOLUTION R-2001-576, AND RECORDED IN OFFICIAL RECORD BOOK 12520, PAGE 395 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 34 THROUGH 42, LESS THE SOUTH 3/4 OF FEET OF LOTS 34 AND 35, FOR THE RIGHT OF WAY FOR STATE ROAD 802, ALSO KNOWN AS LAKE WORTH ROAD, AND LOTS 47 THROUGH 50, ALL IN BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

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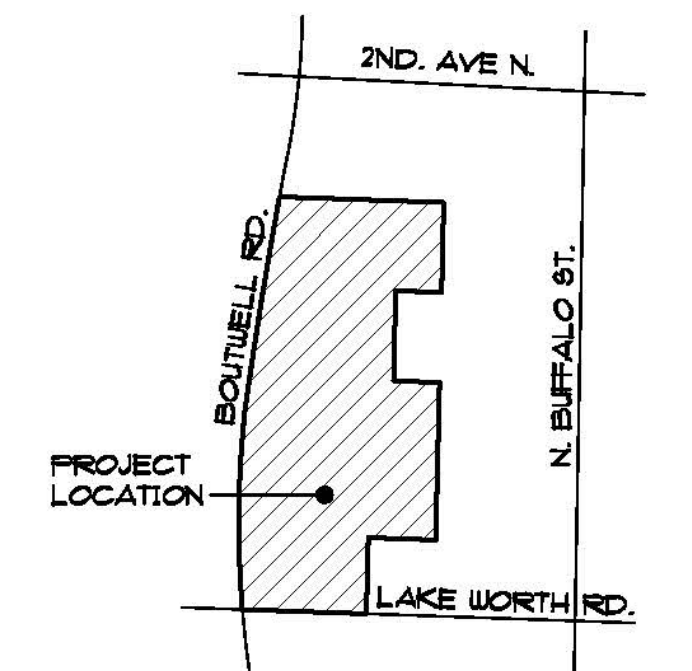
REVISIONS	BY

**KUOPPALA & ASSOCIATES, P.A.**  
 ARCHITECTS  
 LICENSE #AC-001666  
 ROBERT E. KUOPPALA  
 LICENSE #AC-001666  
 925 SOUTH MILITARY TRAIL, SUITE D-10  
 WEST PALM BEACH, FLORIDA 33415  
 (561) 682-1909 - OFF.  
 (561) 682-1975 - FAX

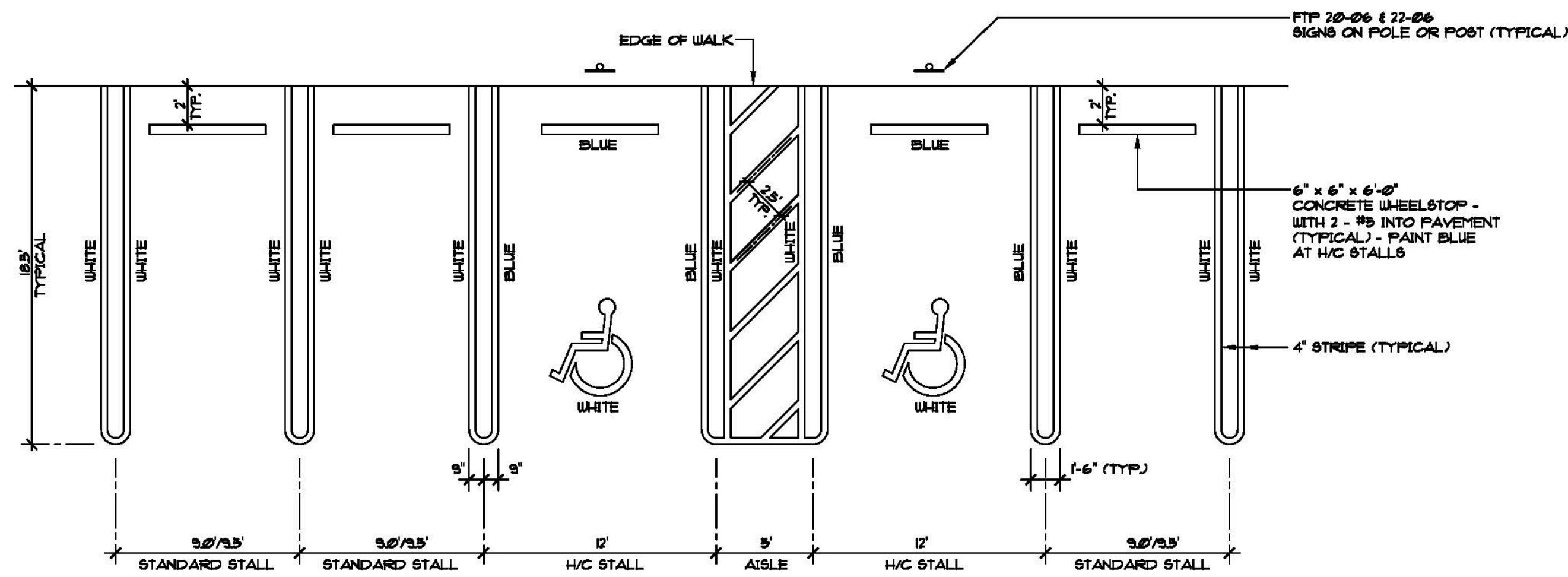
JANUARY 6, 2020

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
 2202 LAKE WORTH ROAD  
 LAKE WORTH BEACH, FLORIDA

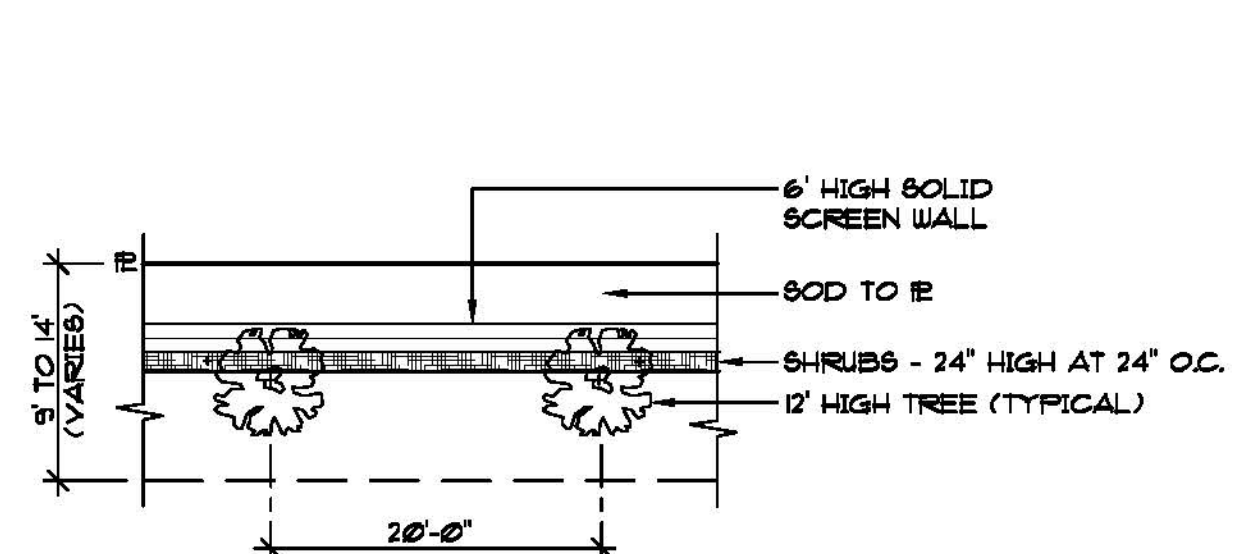
DRAWN: GUT  
 CHECKED: REK  
 DATE: JANUARY 6, 2020  
 SCALE: AS NOTED  
 COMM. NO.: 18-23  
 SHEET: SP-1  
 OF 1 SHEETS



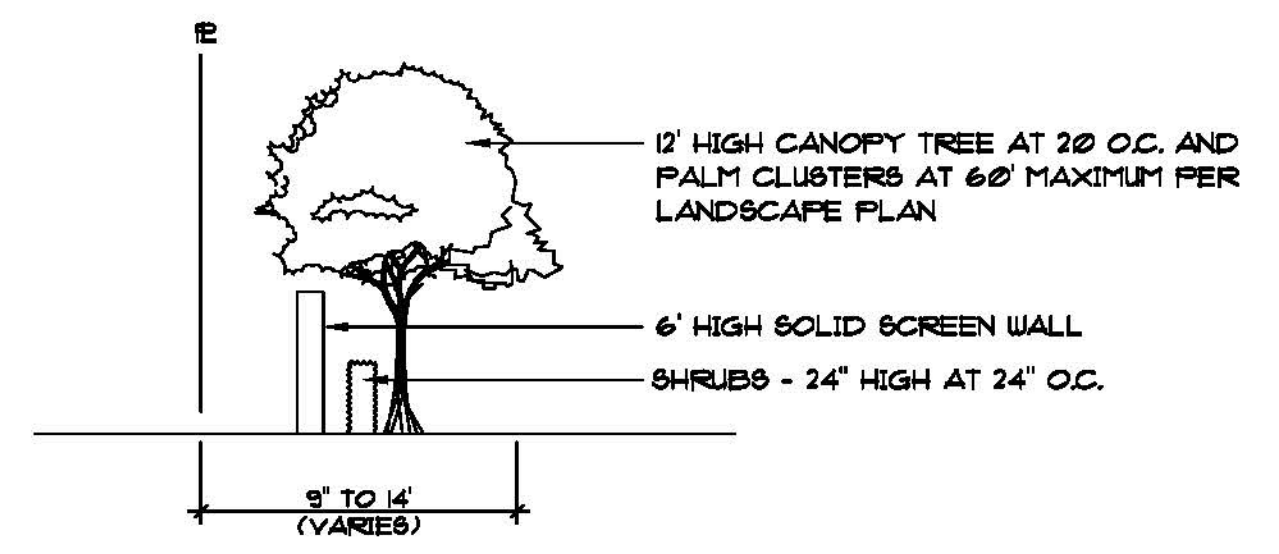
PROJECT LOCATION MAP  
 NO SCALE



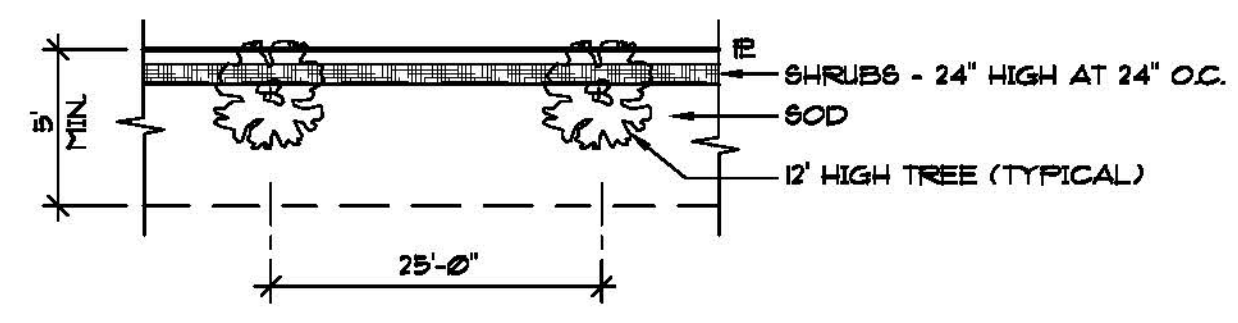
**TYPICAL PARKING STALLS DETAIL - 90°**  
NO SCALE



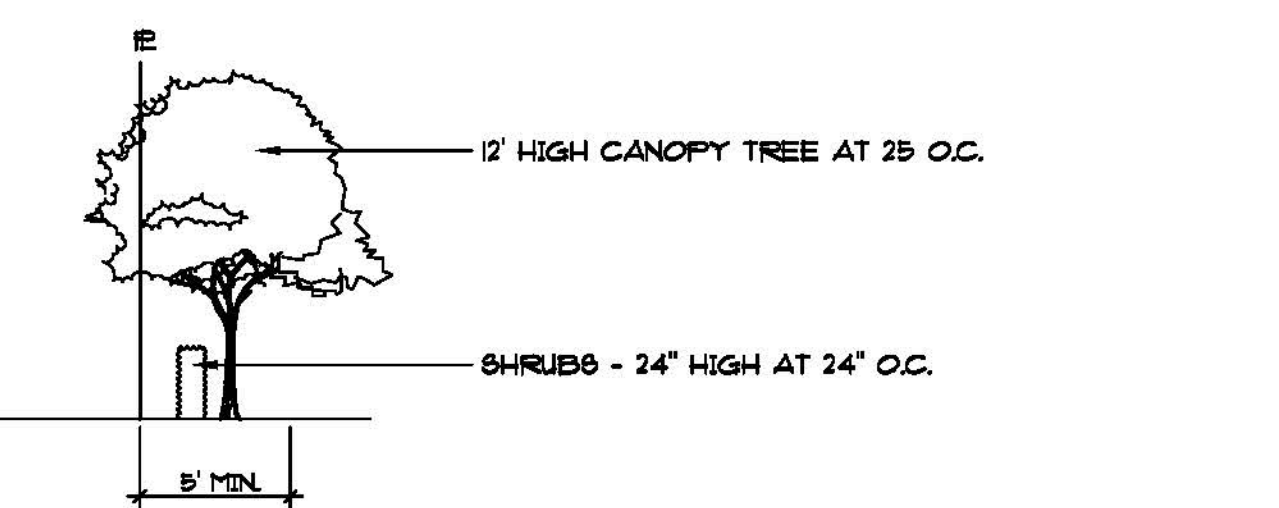
**PLAN AT BUFFER ADJacent TO RESIDENTIAL**  
NO SCALE



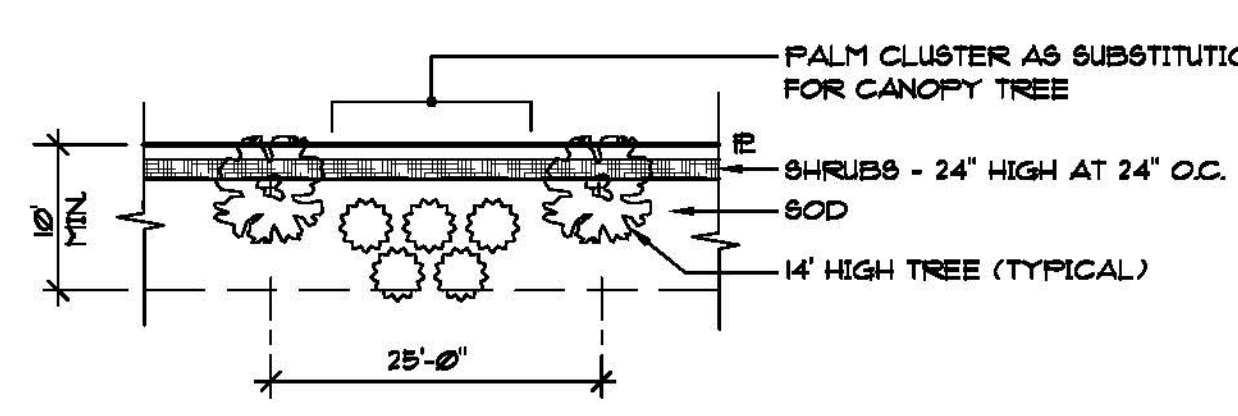
**SECTION AT BUFFER ADJacent TO RESIDENTIAL**  
NO SCALE



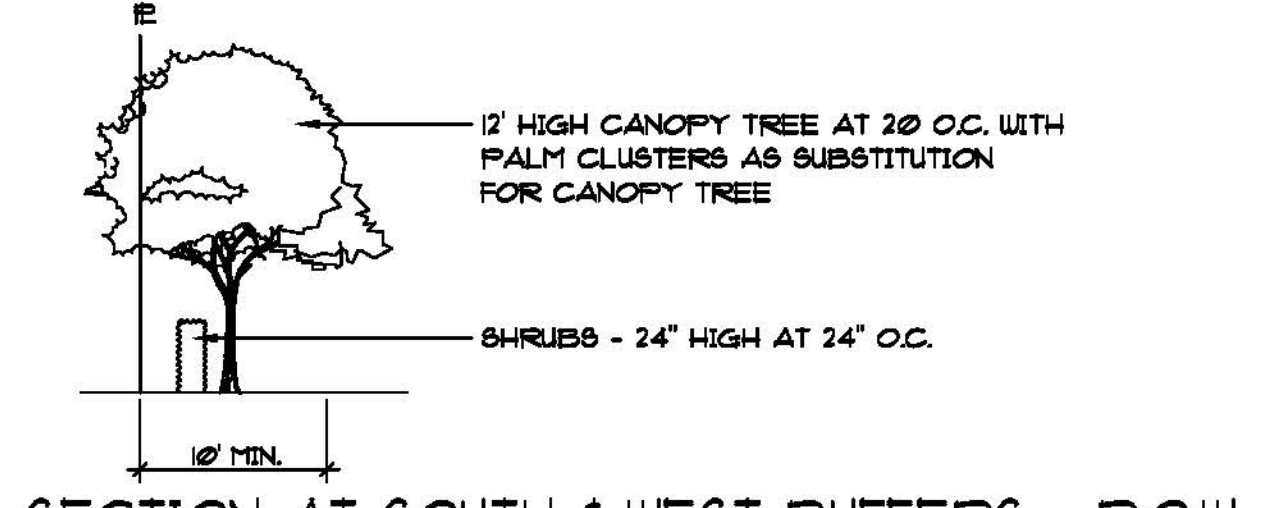
**PLAN AT NORTH BUFFER ADJacent TO COMMERCIAL**  
NO SCALE



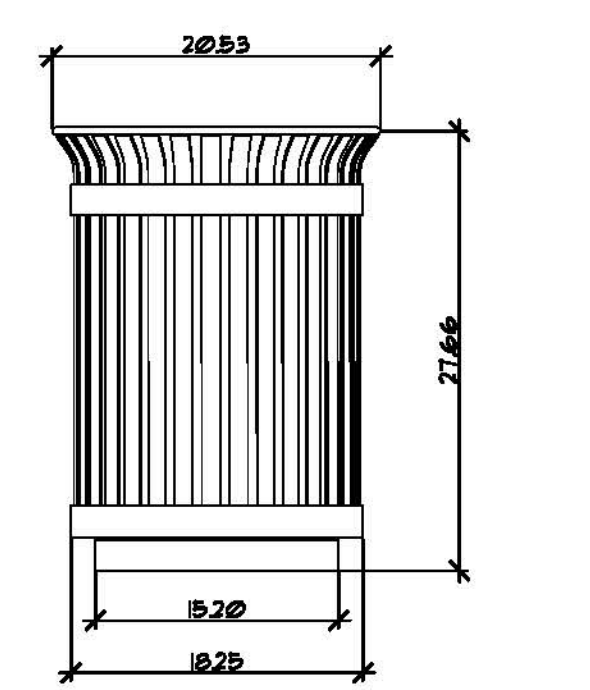
**SECTION AT NORTH BUFFER TO COMMERCIAL**  
NO SCALE



**PLAN AT SOUTH & WEST BUFFERS - R.O.W.**  
NO SCALE

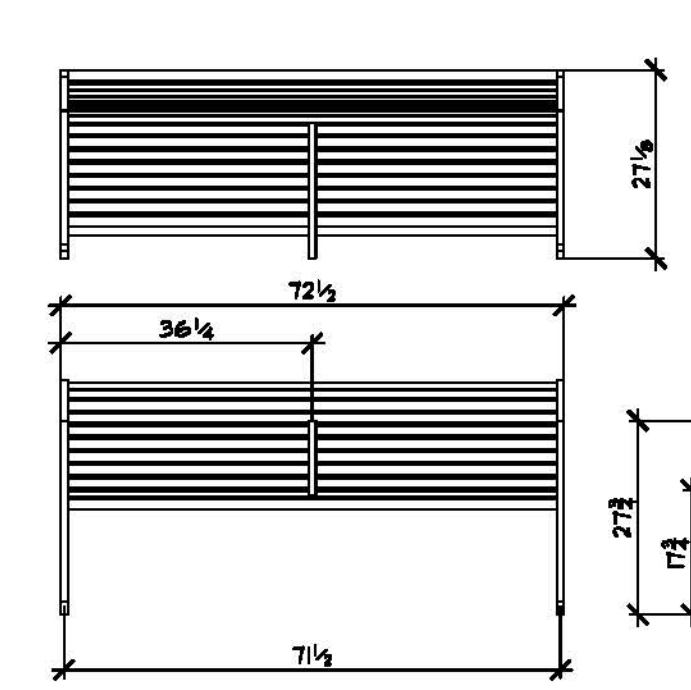


**SECTION AT SOUTH & WEST BUFFERS - R.O.W.**  
NO SCALE



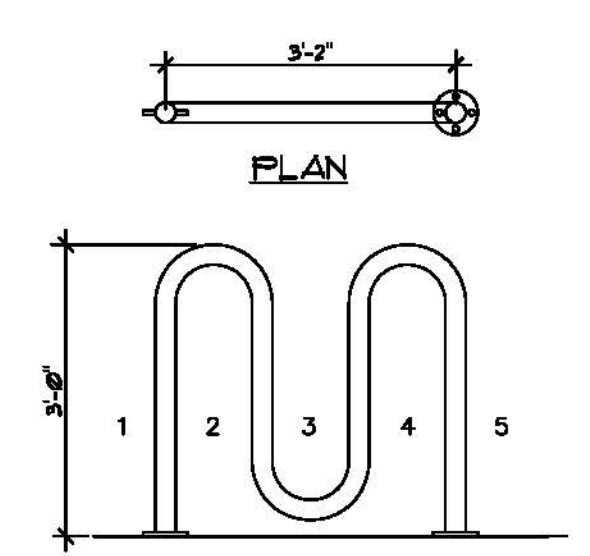
**TRASH RECEPTACLE**  
NO SCALE

NOTES:  
1) ANCHOR RECEPTACLE TO SLAB.  
2) UNIT SHALL BE HUNTCO 'VENATCHEE' OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.



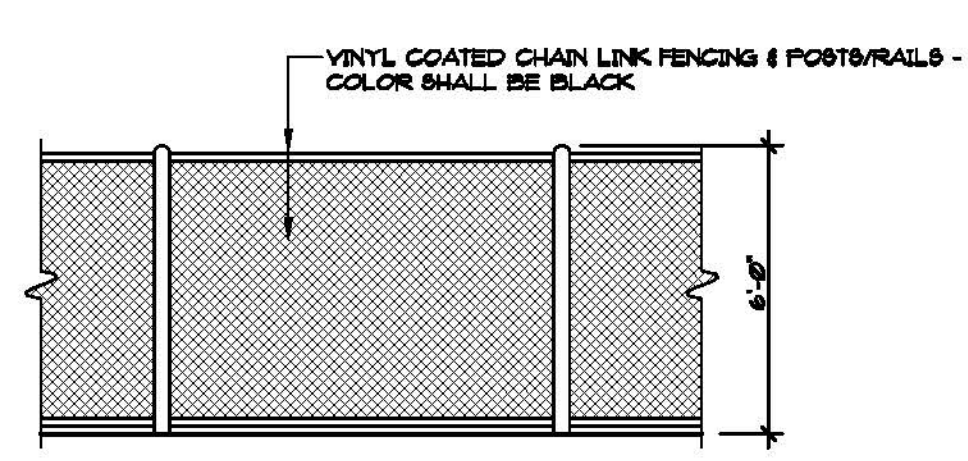
**BENCH DETAIL**  
NO SCALE

NOTES:  
1) ANCHOR BENCH TO SLAB.  
2) UNIT SHALL BE HUNTCO 'MILLIAMETTE' OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.

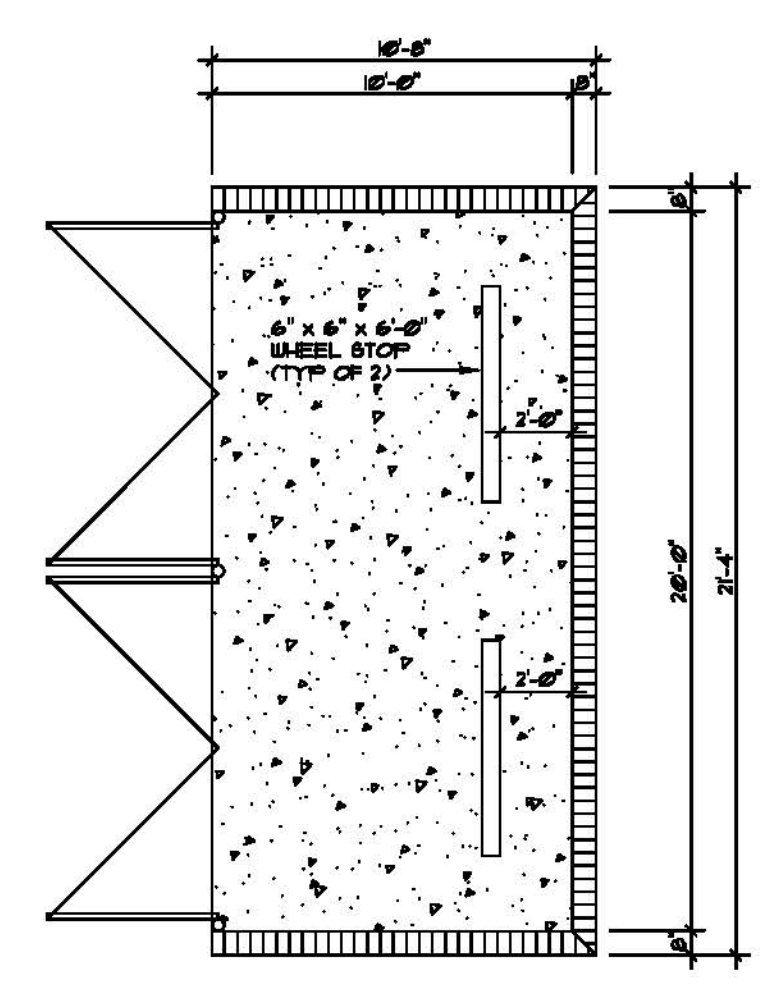


**ELEVATION BIKE RACK**  
NO SCALE

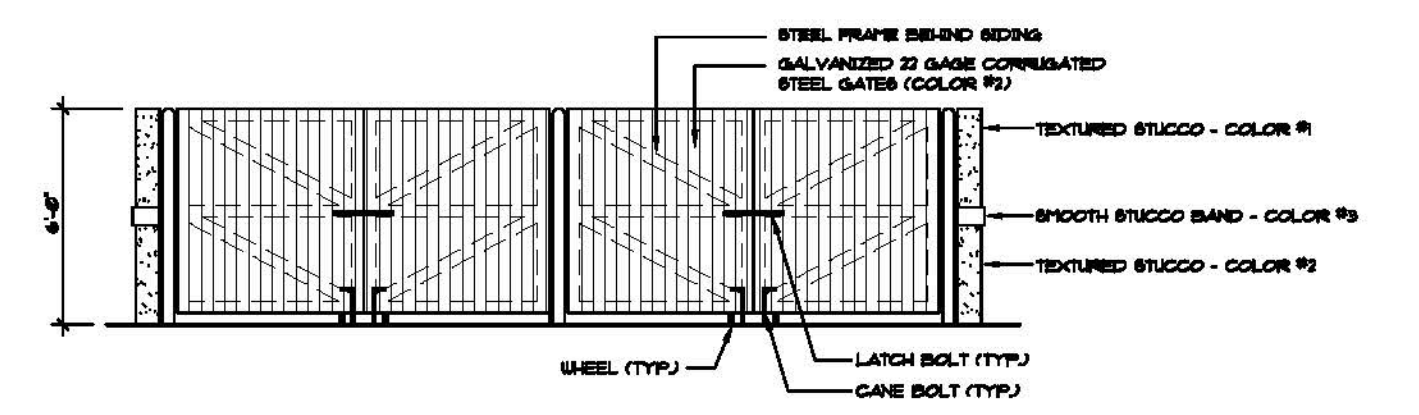
NOTES:  
1) ANCHOR RACKS TO SLAB.  
2) UNIT SHALL BE HUNTCO BR-5 OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.



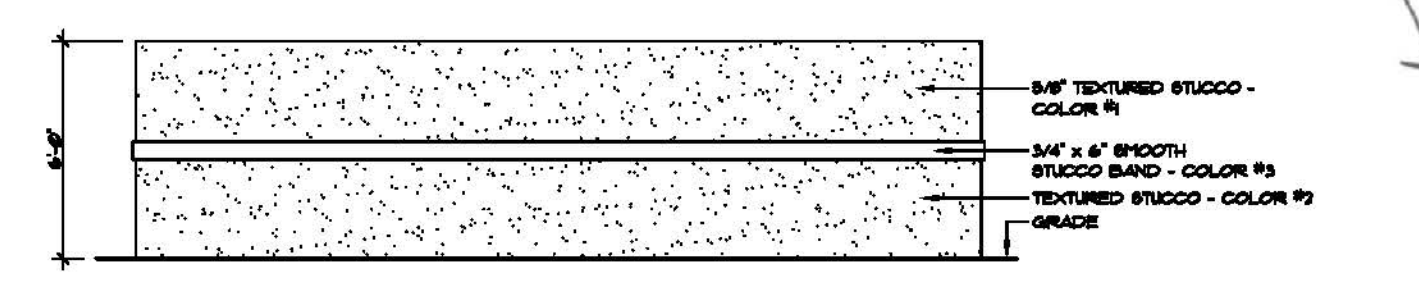
**CHAIN LINK FENCE AROUND LIFT STATION**  
NO SCALE



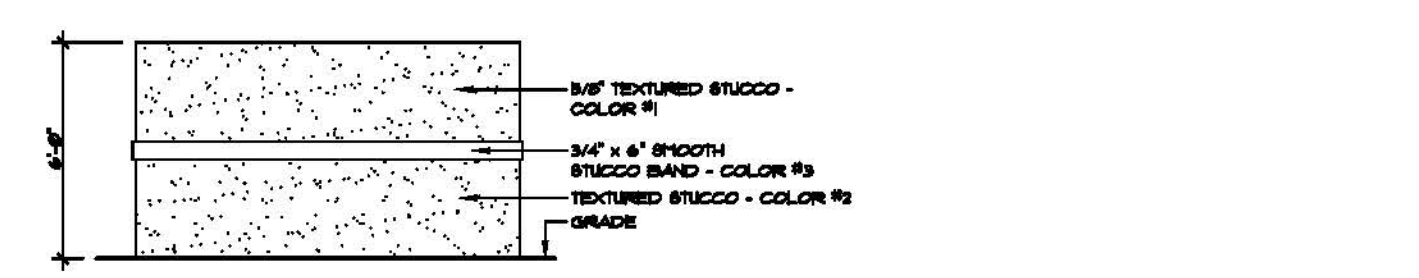
**DUMPSTER ENCLOSURE PLAN**  
3/16" = 1'-0"



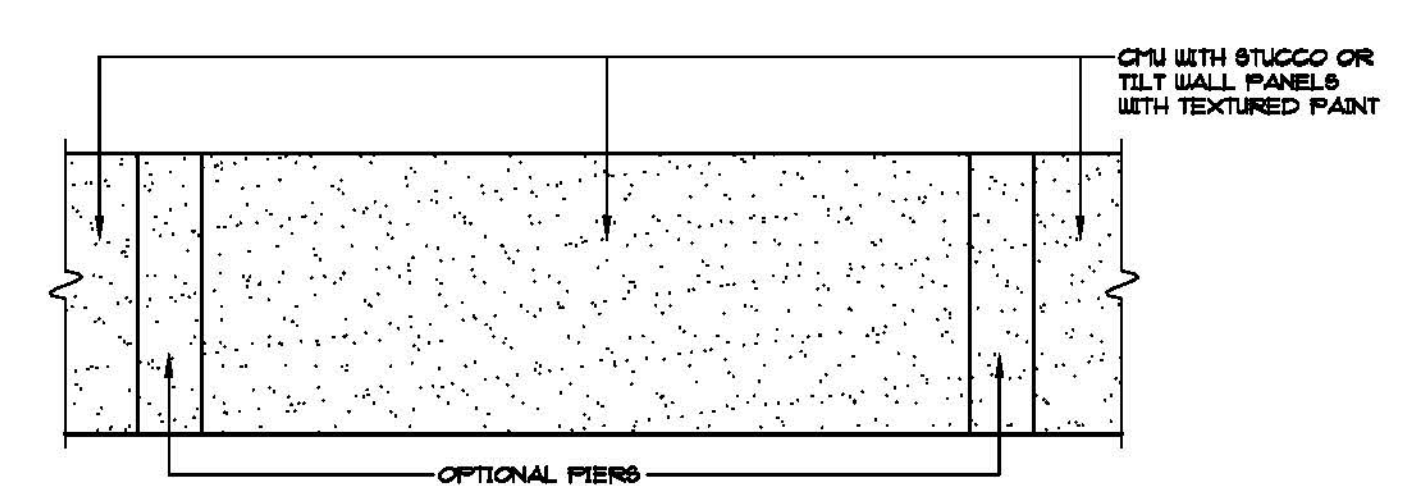
**WEST ELEVATION (DUMPSTER ENCLOSURE)**  
3/16" = 1'-0"



**EAST ELEVATION (DUMPSTER ENCLOSURE)**  
3/16" = 1'-0"



**NORTH & SOUTH ELEVATION (DUMPSTER ENCLOSURE)**  
3/16" = 1'-0"



**SITE WALL**  
NO SCALE

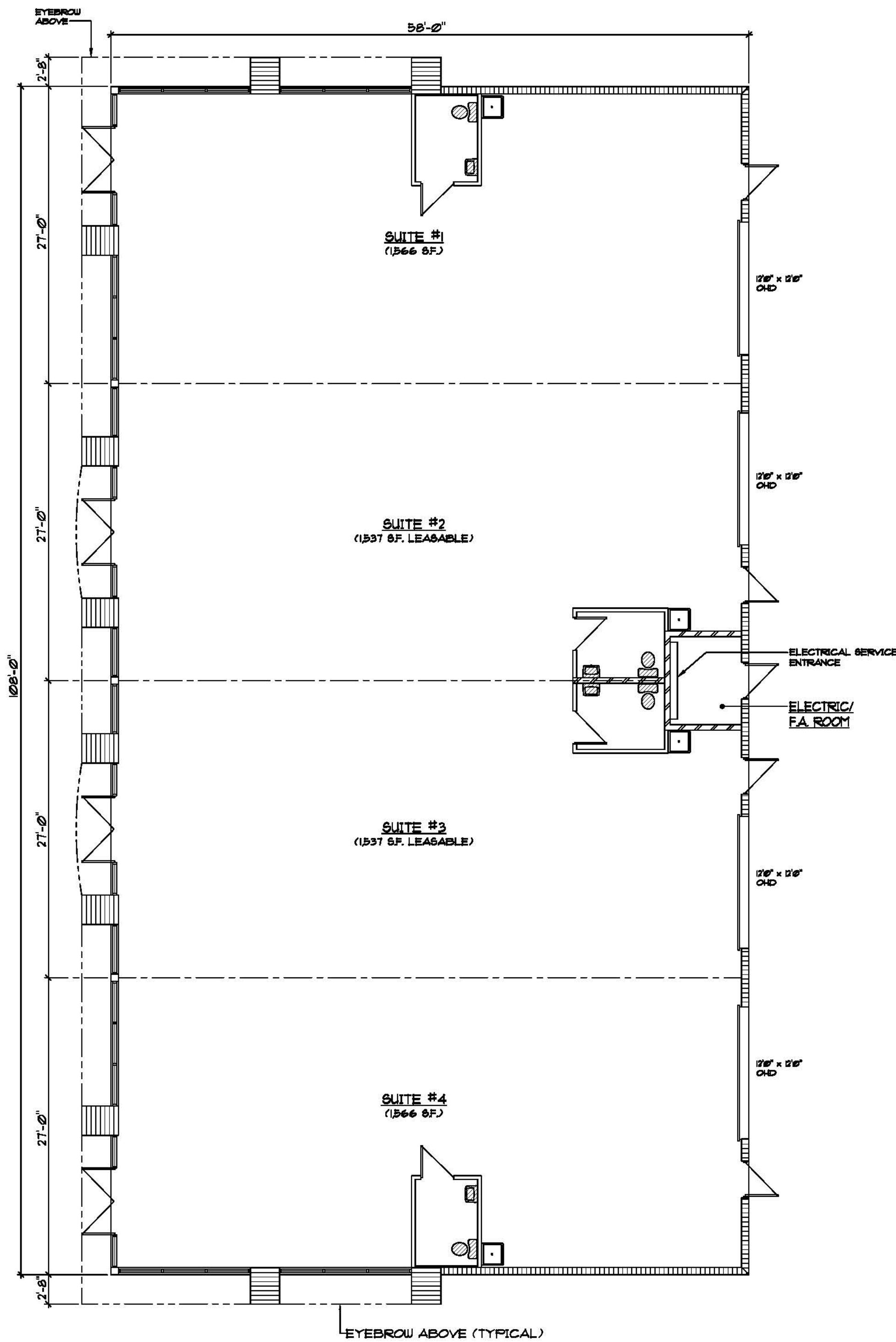
REVISIONS	BY

**KUOPPALA & ASSOCIATES, P.A.**  
ARCHITECTS  
FLORIDA ARCHITECT #4481  
LICENSE #AAC-001866  
925 SOUTH MILITARY TRAIL, SUITE D-10  
WEST PALM BEACH, FLORIDA 33415  
(561) 882-1909 - OFF.  
(561) 882-1975 - FAX.



PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

DRAWN	GUT
CHECKED	REK
DATE	JANUARY 6, 2020
SCALE	AS NOTED
COMPL. NO.	18-23
SHEET	1

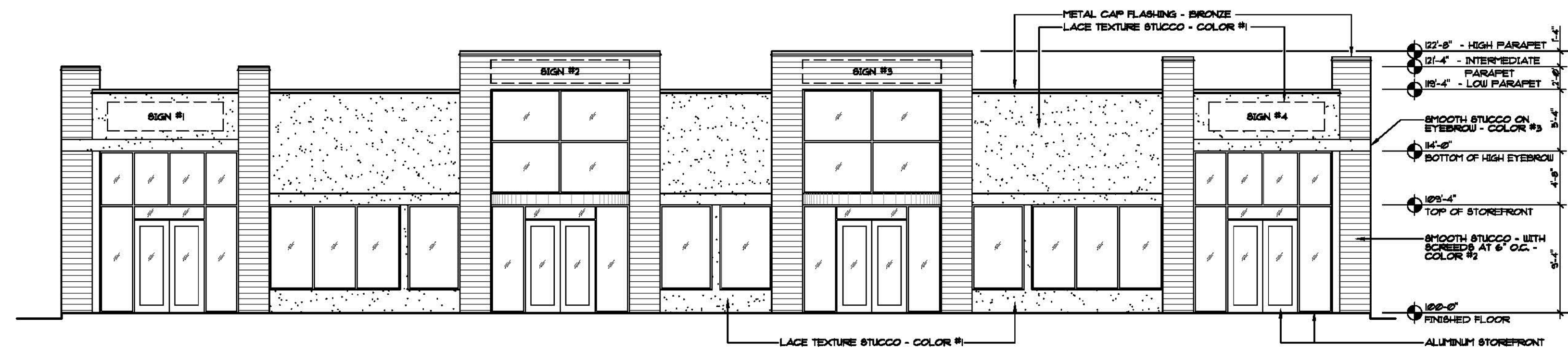


**FLOOR PLAN - BUILDING #1**  
1/8" = 1'-0" 20% OFFICE / 80% WAREHOUSE



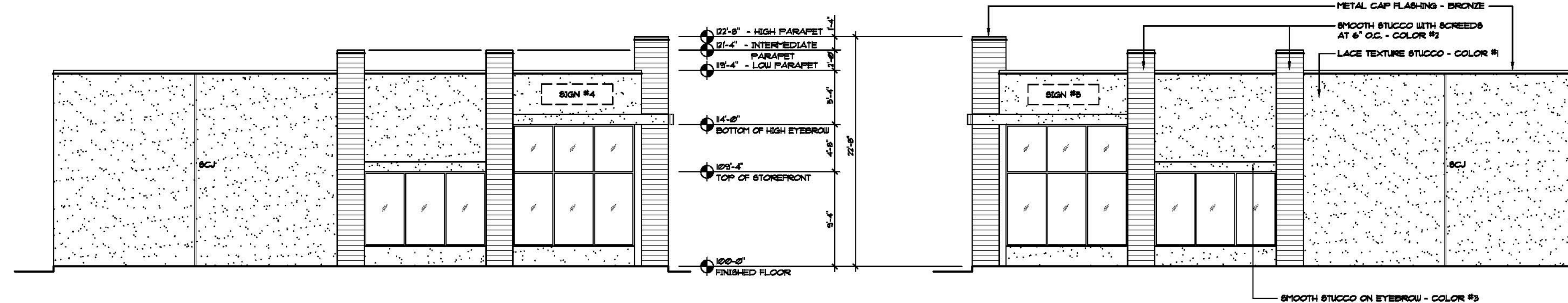
**NOTES:**

1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.



**WEST ELEVATION - BUILDING #1**

1/8" = 1'-0"

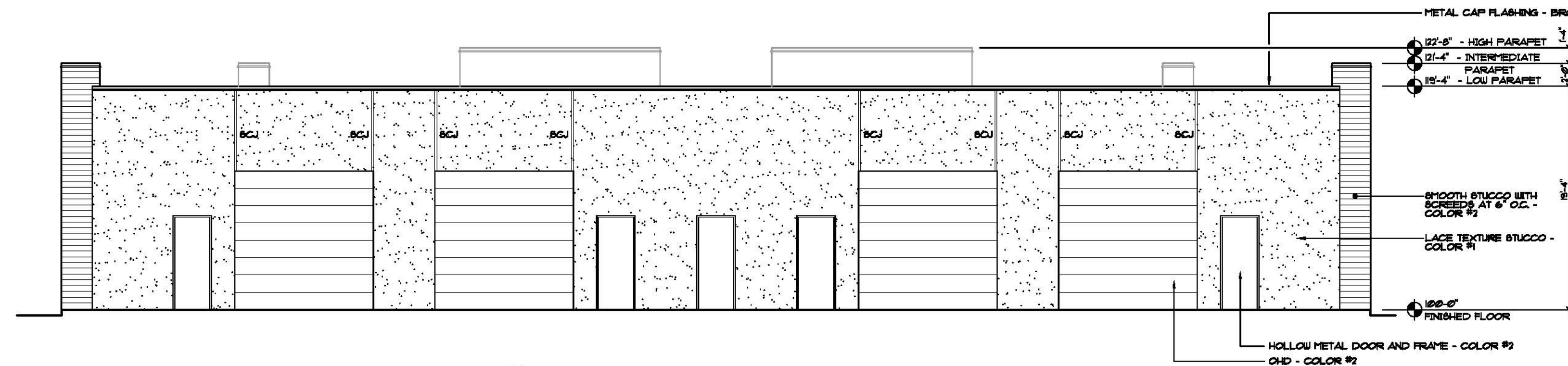


**NORTH ELEVATION - BUILDING #1**

1/8" = 1'-0"

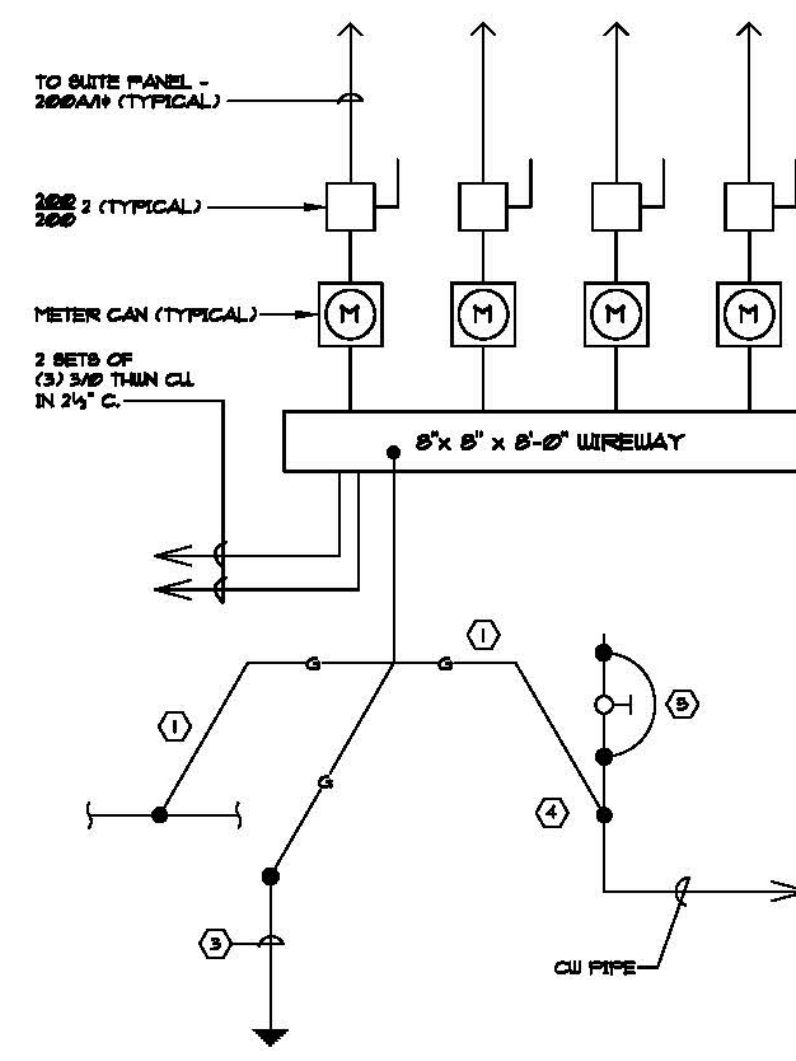
**SOUTH ELEVATION - BUILDING #1**

1/8" = 1'-0"



**EAST ELEVATION - BUILDING #1**

1/8" = 1'-0"



**POWER RISER DIAGRAM**

NO SCALE

ELECTRICAL SERVICE SHALL BE 400 AMP/240/1Ø

**POWER RISER KEY NOTES:**

- (1) #1/0 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
- Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
- 3/4" X 10' long copper driven ground electrode.
- Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
- (1) #1/0 CU bonding jumper around first valve.

**ELECTRICAL LOAD CALCULATIONS FOR BUILDING #1:**

A/C units - 4 @ 10 KW each	40,000 WATTS
Power - 6,264 S.F. @ 5 watts/S.F.	31,320
Lights - 6,264 S.F. @ 1.5 watts/S.F.	9,396
<b>Total Connected Load =</b>	<b>80,716 WATTS</b>
	240 VOLTS = 336 AMPS

**BUILDING TENANT WALL SIGN CALCULATIONS**

- Building #1: Frontage = 1 S.F. Per Lineal Foot
  - Signs # 1 - 4
 

Frontage	= 27' - 0" (Facing Street)
Maximum Area	= 27 S.F.
Actual Area	= 27 S.F.
Length	= 10.0 Feet
Height	= 2.7 Feet
  - Signs #5 & 6: 20% of Maximum Allowed Frontage (Facing Parking Lot)
 

20% of 27 S.F.	= 5.4 S.F.
Actual Area	= 5.4 S.F.
Length	= 2.0 Feet
Height	= 1.8 Feet
- Master sign program by others.

**COLOR SELECTIONS:**

COLOR #1	- SHERWIN WILLIAMS #7086 - EXTRA WHITE
COLOR #2	- SHERWIN WILLIAMS #6076 - TURKISH COFFEE
COLOR #3	- SHERWIN WILLIAMS #7653 - SILVER POINTE
STOREFRONT FRAMES AND DOORS	- MILL FINISH
HOLLOW METAL	- COLOR #2
GLASS	- BRONZE TINT AND / OR CLEAR

REVISIONS	BY

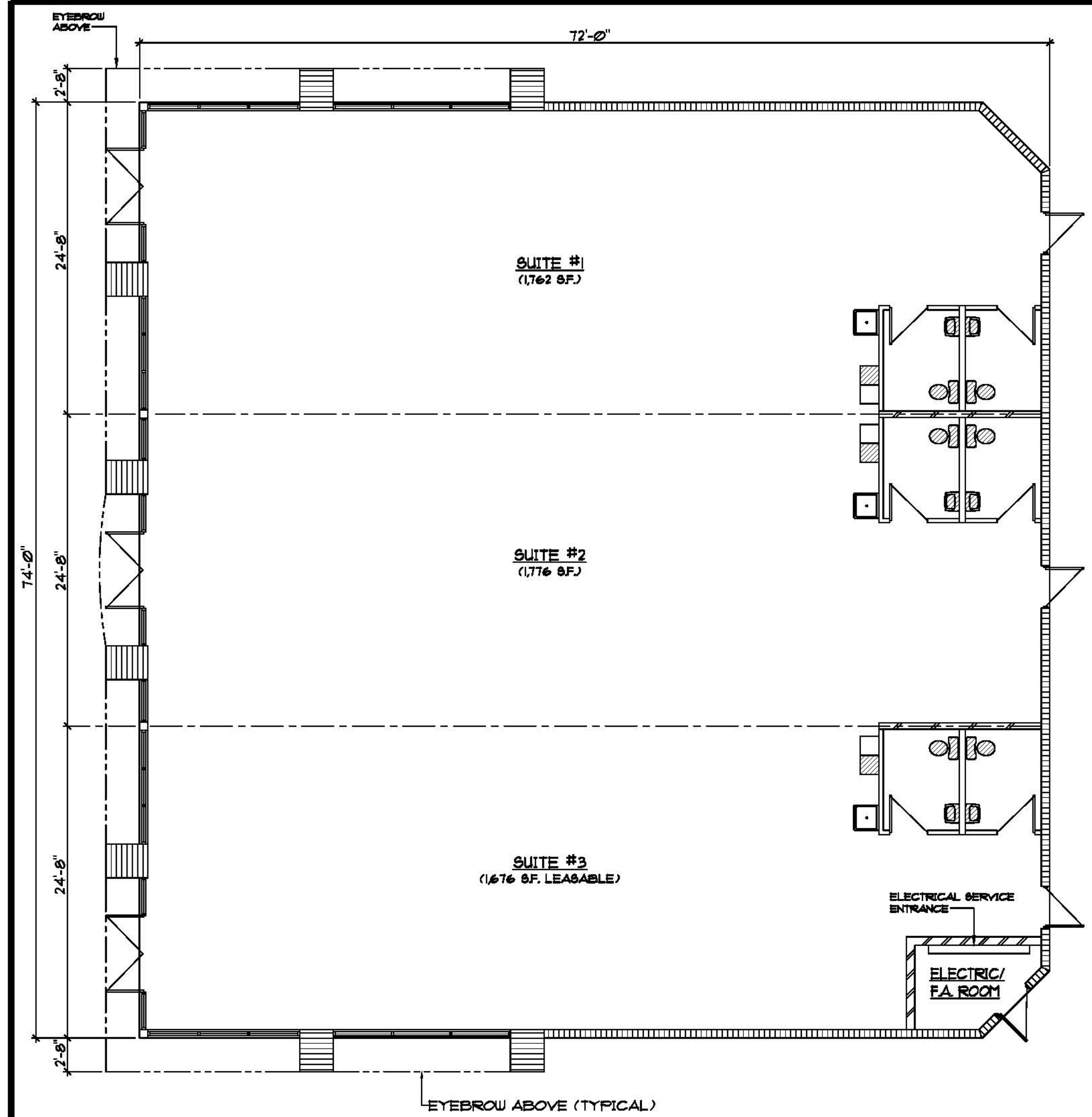
**KUOPPALA & ASSOCIATES, P.A.**  
ARCHITECTS  
ROBERT E. KUOPPALA  
FLORIDA ARCHITECT #4481  
925 SOUTH MILITARY TRAIL, SUITE D-10  
WEST PALM BEACH, FLORIDA 33415  
(561) 682-1909-0FF.  
(561) 682-1978-FAX.



PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

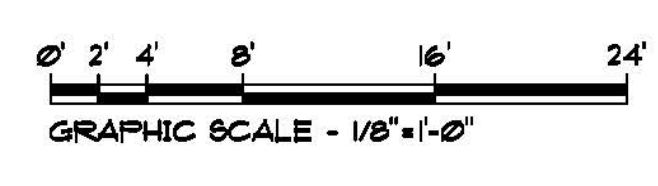
DRAWN: GIJT  
CHECKED: KUOPPALA  
DATE: JANUARY 6, 2020  
SCALE: AS NOTED  
SHEET: 18-23  
A-1



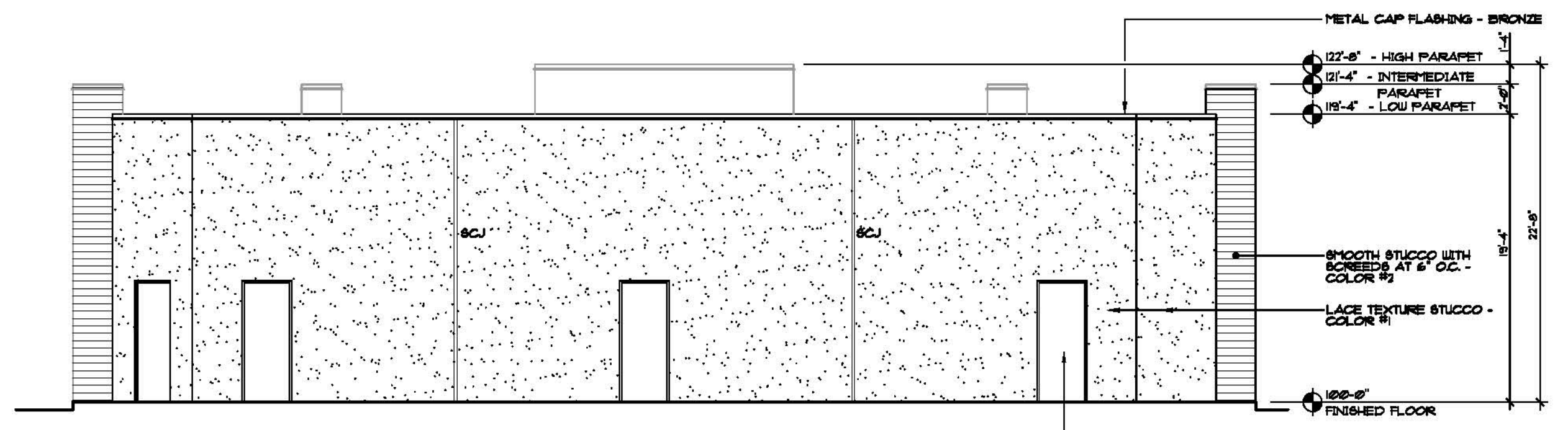


**FLOOR PLAN - BUILDING #2**  
 1/8" = 1'-0"  
 RETAIL / OFFICE

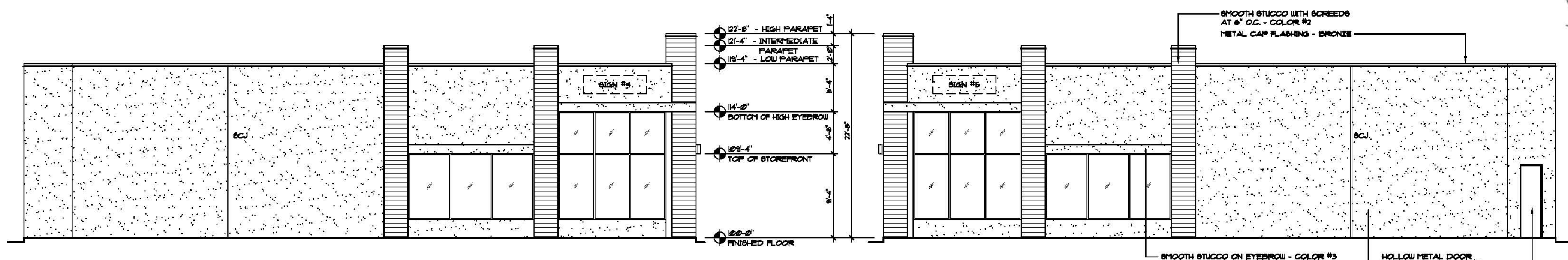
**NOTES:**  
 1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.



**WEST ELEVATION - BUILDING #2**  
 1/8" = 1'-0"

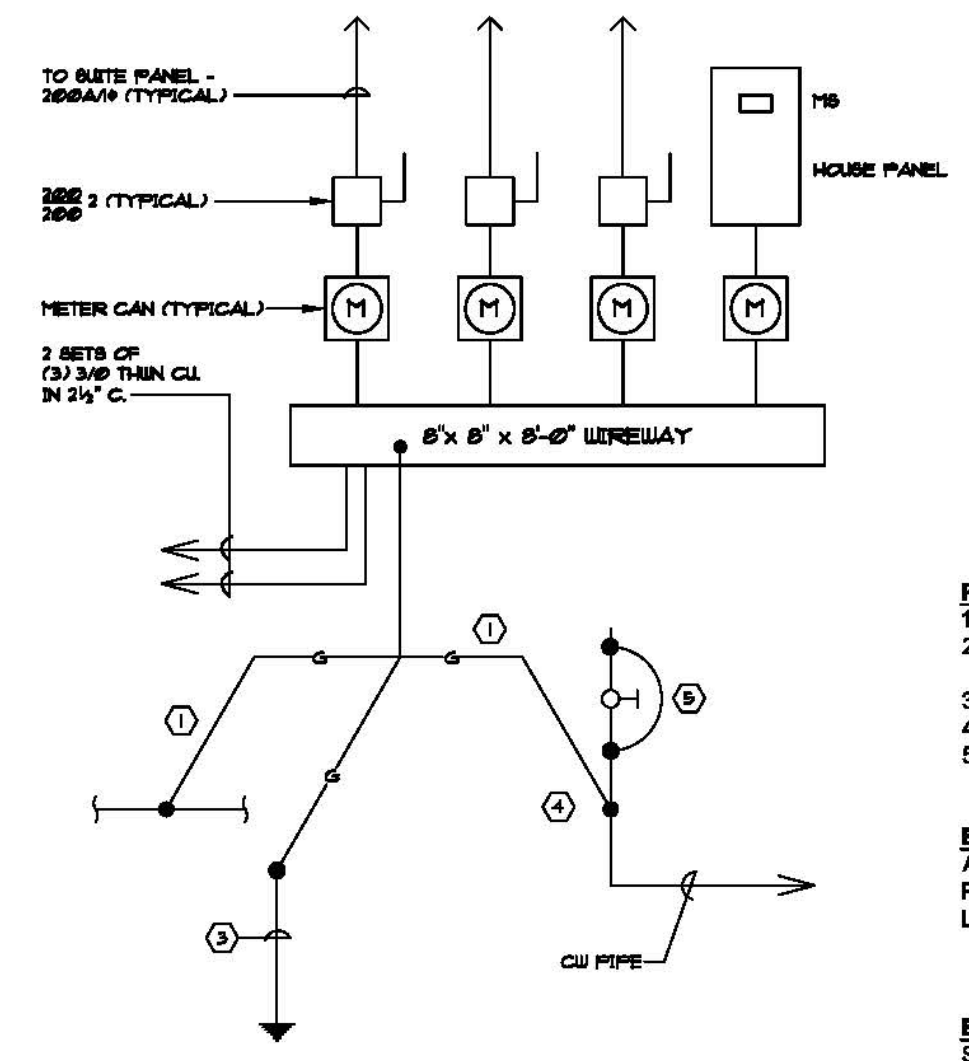


**EAST ELEVATION - BUILDING #2**  
 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING #2**  
 1/8" = 1'-0"

**SOUTH ELEVATION - BUILDING #2**  
 1/8" = 1'-0"



**POWER RISER DIAGRAM**  
 NO SCALE  
 ELECTRICAL SERVICE SHALL BE 400 AMP/240V/1Ø

- POWER RISER KEY NOTES:**
- (1) #1/0 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
  - Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
  - 3/4" x 10' long copper driven ground electrode.
  - Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
  - (1) #1/0 CU bonding jumper around first valve.

**ELECTRICAL LOAD CALCULATIONS FOR BUILDING #2:**

A/C units - 3 @ 10 KW each	30,000 WATTS
Power - 5,300 S.F. @ 5 watts/S.F.	26,500
Lights - 6,300 S.F. @ 1.5 watts/S.F.	7,950
	<b>64,450 WATTS</b>
	240 VOLTS = 269 AMPS

**ELECTRICAL LOAD CALCULATIONS FOR HOUSE PANEL:**

Site Lights	3,000 WATTS
Irrigation System (2HP)	3,200
Grinder Pump (5 HP)	7,500
	<b>13,900 WATTS</b>
	240 VOLTS = 60 AMPS

**TOTAL CONNECTED LOAD = 320 AMPS**

**BUILDING TENANT WALL CALCULATIONS**

- Building #2: Frontage = 1 S.F. Per Lineal Foot
 

A) Signs #1 - 3	Frontage = 24'-8"
	Maximum Area = 24.8 S.F.
	Actual Area = 24.8 S.F.
	Length = 10.00 Feet
	Height = 2.48 Feet
B) Signs #4 & 5:	20% of Maximum Allowed Frontage (facing parking lot)
	= 5.0 S.F.
	Actual Area = 5.0 S.F.
	Length = 2.8 Feet
	Height = 1.8 Feet
- Master sign program by others.

**COLOR SELECTIONS:**

COLOR #1	- SHERWIN WILLIAMS #7086 - EXTRA WHITE
COLOR #2	- SHERWIN WILLIAMS #6076 - TURKISH COFFEE
COLOR #3	- SHERWIN WILLIAMS #7653 - SILVER POINTE
STOREFRONT FRAMES AND DOORS	- MILL FINISH
HOLLOW METAL	- COLOR #2
GLASS	- BRONZE TINT AND / OR CLEAR

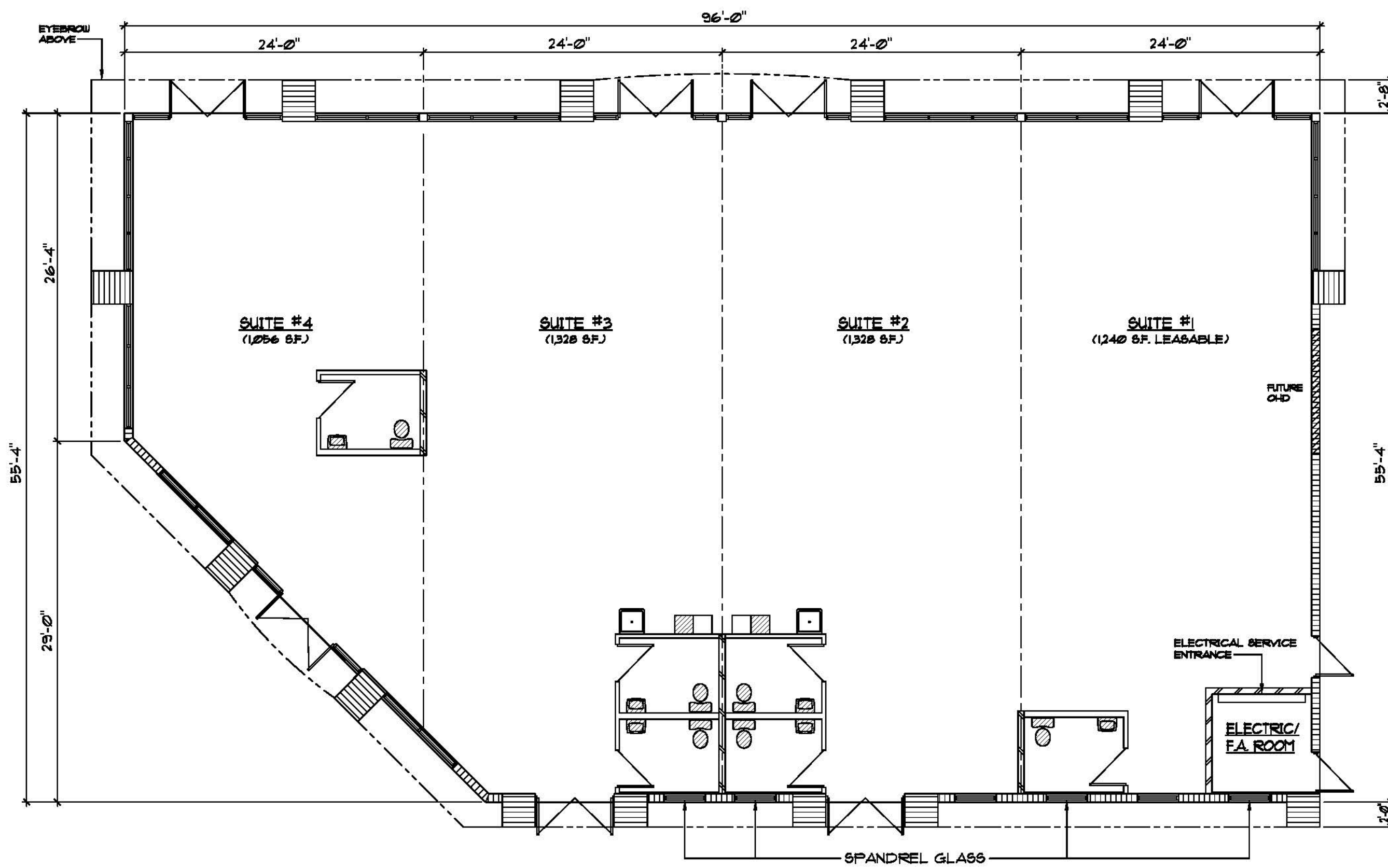
REVISIONS	BY

**KUOPPALA & ASSOCIATES, P.A.**  
 ARCHITECTS  
 LICENSE #AAC-001050  
 ROBERT E. KUOPPALA  
 FLORIDA ARCHITECT #481  
 925 SOUTH MILITARY TRAIL, SUITE D-10  
 WEST PALM BEACH, FLORIDA 33415  
 (561) 682-1909-0FF.  
 (561) 682-1978-FAX.



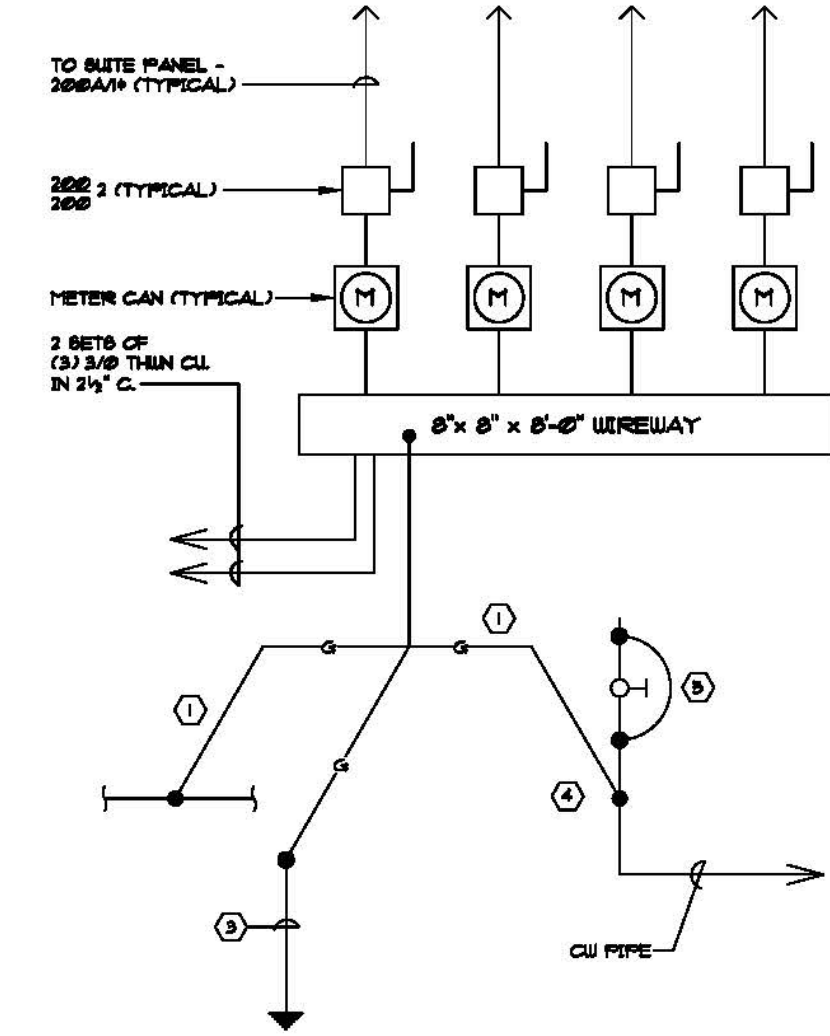
PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
 2202 LAKE WORTH ROAD  
 LAKE WORTH BEACH, FLORIDA

DRAWN	GIJT
CHECKED	KUOPPALA
DATE	JANUARY 6, 2020
SCALE	AS NOTED
CONTR. NO.	18-23
SHEET	A-2
OF	3 SHEETS



**FLOOR PLAN - BUILDING #3**  
 1/8" = 1'-0"  
 RETAIL / OFFICE

**NOTES:**  
 1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.

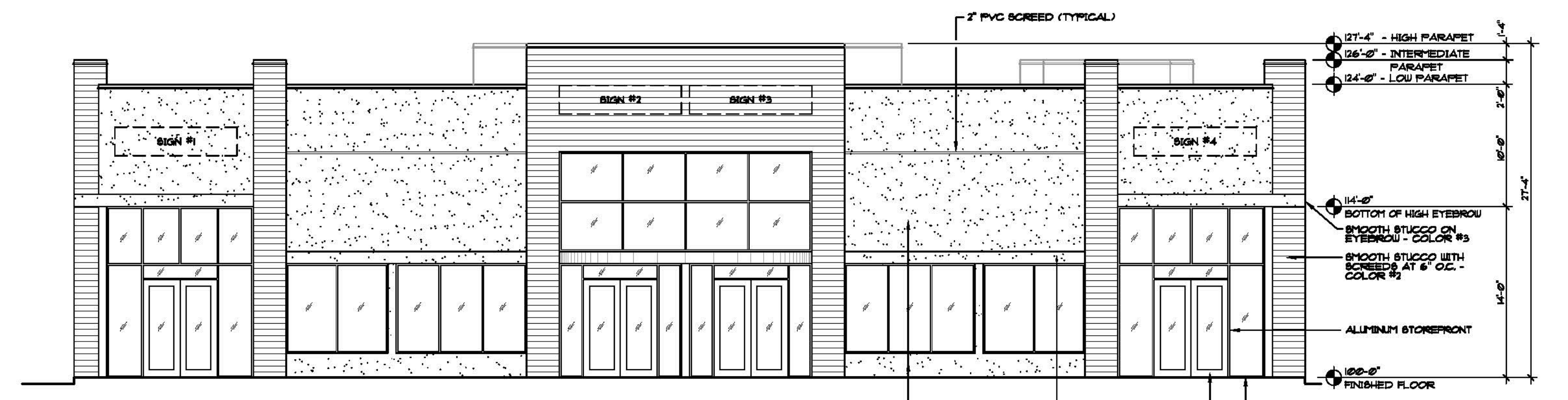


**POWER RISER DIAGRAM**  
 NO SCALE  
 ELECTRICAL SERVICE SHALL BE 400 AMP/240V/3P

- POWER RISER KEY NOTES:**
- (1) #10 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
  - Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
  - 3/2" x 10' long copper driven ground electrode.
  - Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
  - (1) #10 CU bonding jumper around first valve.

**ELECTRICAL LOAD CALCULATIONS FOR BUILDING #3:**

JCO units - 4 @ 10 KW each	40,000 WATTS
Power - 4,891 S.F. X 5 watts/S.F.	24,455
Lights - 4,891 S.F. X 1.5 watts/S.F.	7,336
<b>Total Connected Load =</b>	<b>71,791 WATTS</b>
	240 VOLTS = 299 AMPS



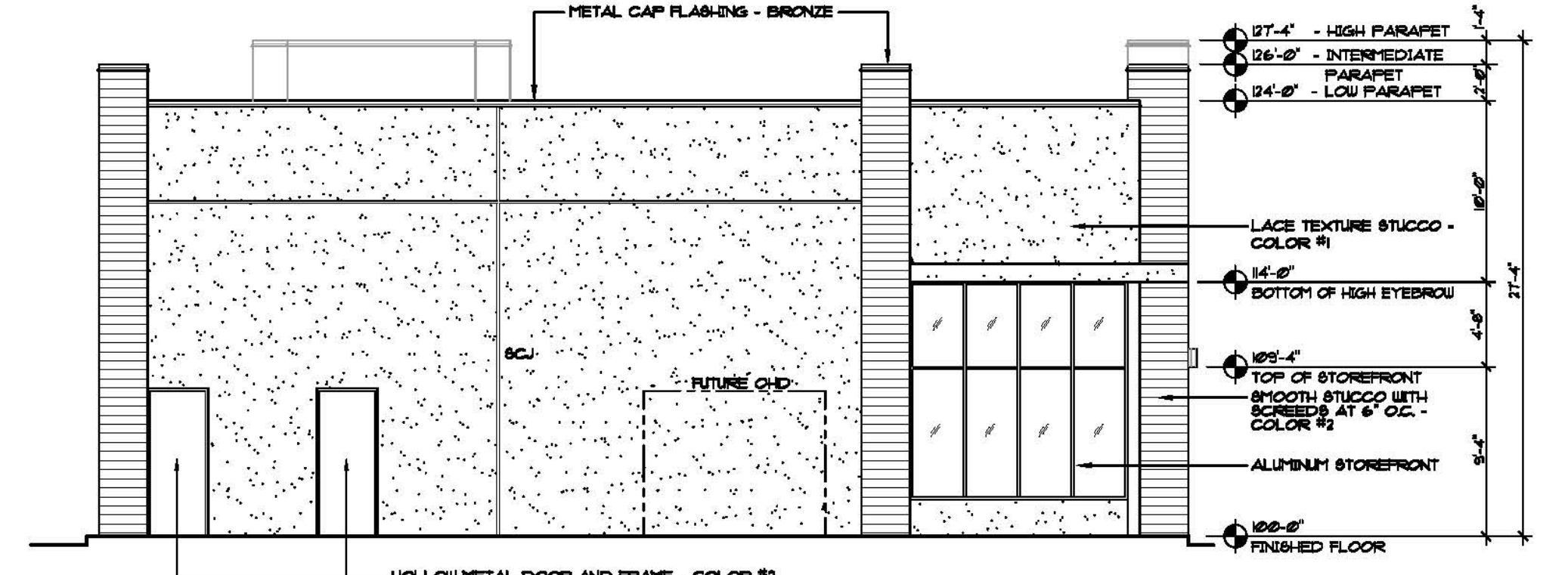
**NORTH ELEVATION - BUILDING #3**  
 1/8" = 1'-0"



**WEST ELEVATION - BUILDING #3**  
 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING #3**  
 1/8" = 1'-0"



**EAST ELEVATION - BUILDING #3**  
 1/8" = 1'-0"

**BUILDING TENANT WALL SIGN CALCULATIONS**

- Building #3: Frontage = 1 S.F. Per Lineal Foot
  - Signs #1 - 4:
 

Frontage	= 24' - 0" (facing parking lot)
Maximum Area	= 24 S.F.
Actual Area	= 24 S.F.
Length	= 10.00 Feet
Height	= 2.00 Feet
  - Signs #5 - 8:
 

Facing Lake Worth Road	= 24 S.F.
Maximum Area	= 24 S.F.
Actual Area	= 24 S.F.
Length	= 12.00 Feet
Height	= 2.00 Feet

2) Master sign program by others.

**COLOR SELECTIONS:**

- |                             |   |
|-----------------------------|---|
| COLOR #1                    | - SHERWIN WILLIAMS #7086 - EXTRA WHITE    |
| COLOR #2                    | - SHERWIN WILLIAMS #6076 - TURKISH COFFEE |
| COLOR #3                    | - SHERWIN WILLIAMS #7653 - SILVER POINTE  |
| STOREFRONT FRAMES AND DOORS | - MILL FINISH                             |
| HOLLOW METAL                | - COLOR #2                                |
| GLASS                       | - BRONZE TINT AND / OR CLEAR              |

REVISIONS	BY

**KUOPPALA & ASSOCIATES, P.A.**  
 ARCHITECTS  
 ROBERT E. KUOPPALA  
 LICENSE #AAC-001689  
 925 SOUTH MILITARY TRAIL, SUITE D-10  
 WEST PALM BEACH, FLORIDA 33415  
 (561) 682-1909 - OFF.  
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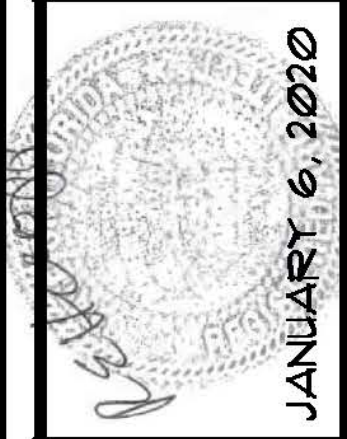


PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
 2202 LAKE WORTH ROAD  
 LAKE WORTH BEACH, FLORIDA

DRAWN	GUT
CHECKED	KUOPPALA
DATE	JANUARY 6, 2020
SCALE	AS NOTED
CONV. NO.	18-23
SHEET	A-3
OF	3 SHEETS

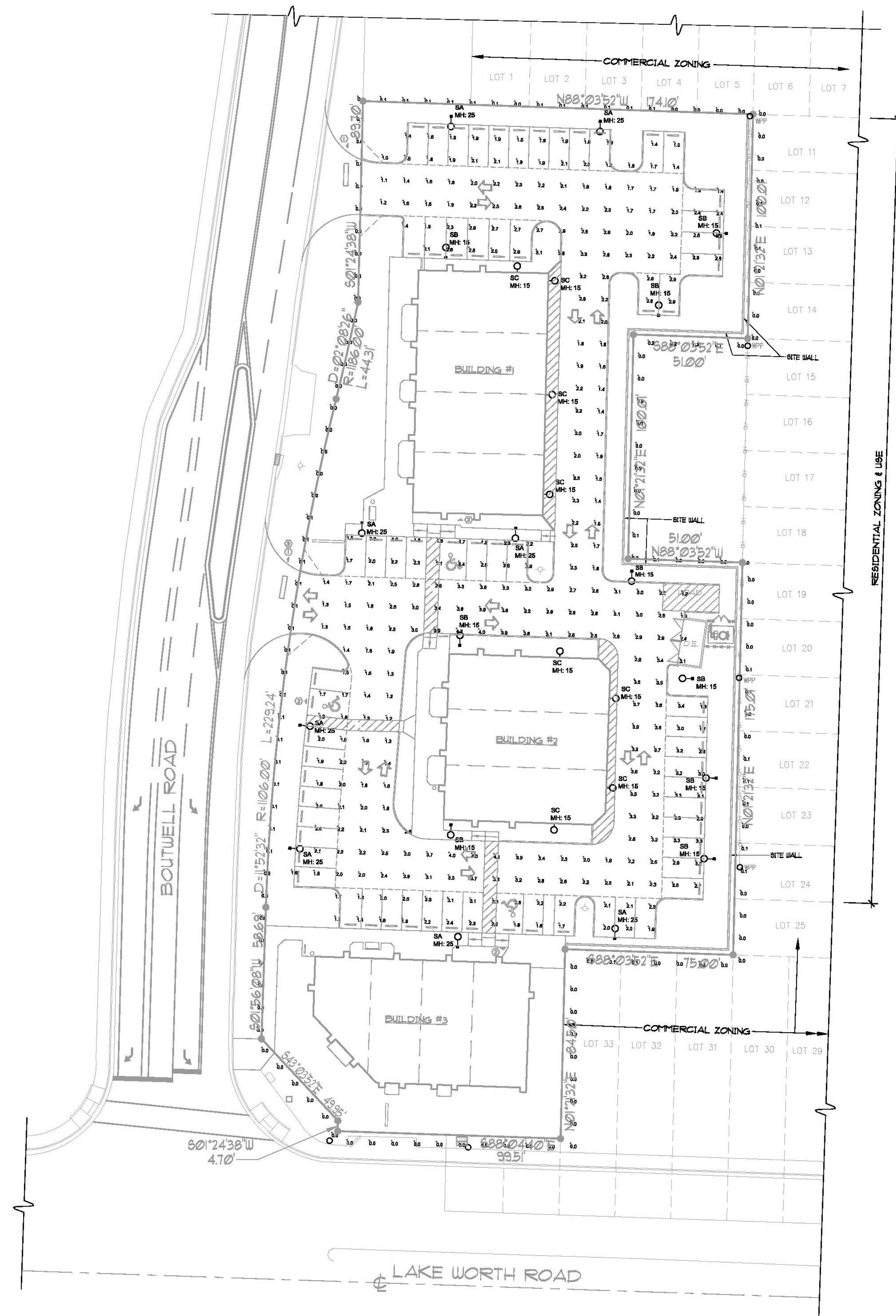
REVISIONS	BY

**KUOPPALA & ASSOCIATES, P.A.**  
**ARCHITECTS**  
 LICENSE #AC-001666  
 ROBERT E. KUOPPALA  
 FLORIDA ARCHITECT #4461  
 925 SOUTH MILITARY TRAIL, SUITE D-10  
 WEST PALM BEACH, FLORIDA 33415  
 (561) 682-1909-OFF.  
 (561) 682-1975-FAX.

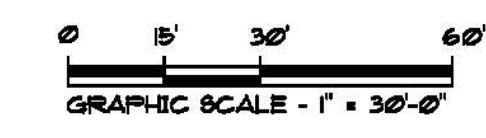


PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA  
**2202 LAKE WORTH ROAD, LLC.**  
 2202 LAKE WORTH ROAD  
 LAKE WORTH BEACH, FLORIDA

DATE: **JANUARY 6, 2020**  
 SCALE: **AS NOTED**  
 COMM. NO.: **18-23**  
 SHEET: **SL-1**



**SITE LIGHTING PLAN - REMODEL**  
 1" = 30'-0"



Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	
○	8	SA	HCI LTG#: F-180-CAC-120LED-4K-TYPE IV / MTD AT 25' AFG	0.900	8627	
○	9	SB	HCI LTG#: F-180-CAC-60LED-4K-TYPE IV / MTD AT 15' AFG	0.900	4627	
○	8	SC	HCI LTG#: F-180-CAC-60LED-4K-TYPE IV-HSS / WALL MTD AT 15' AFG	0.900	4627	

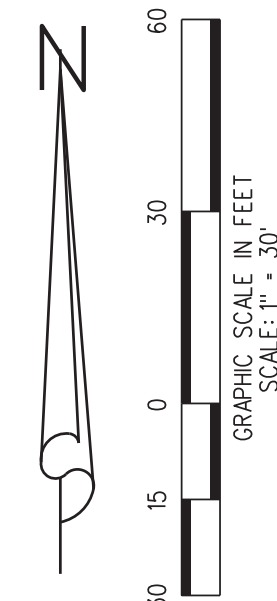
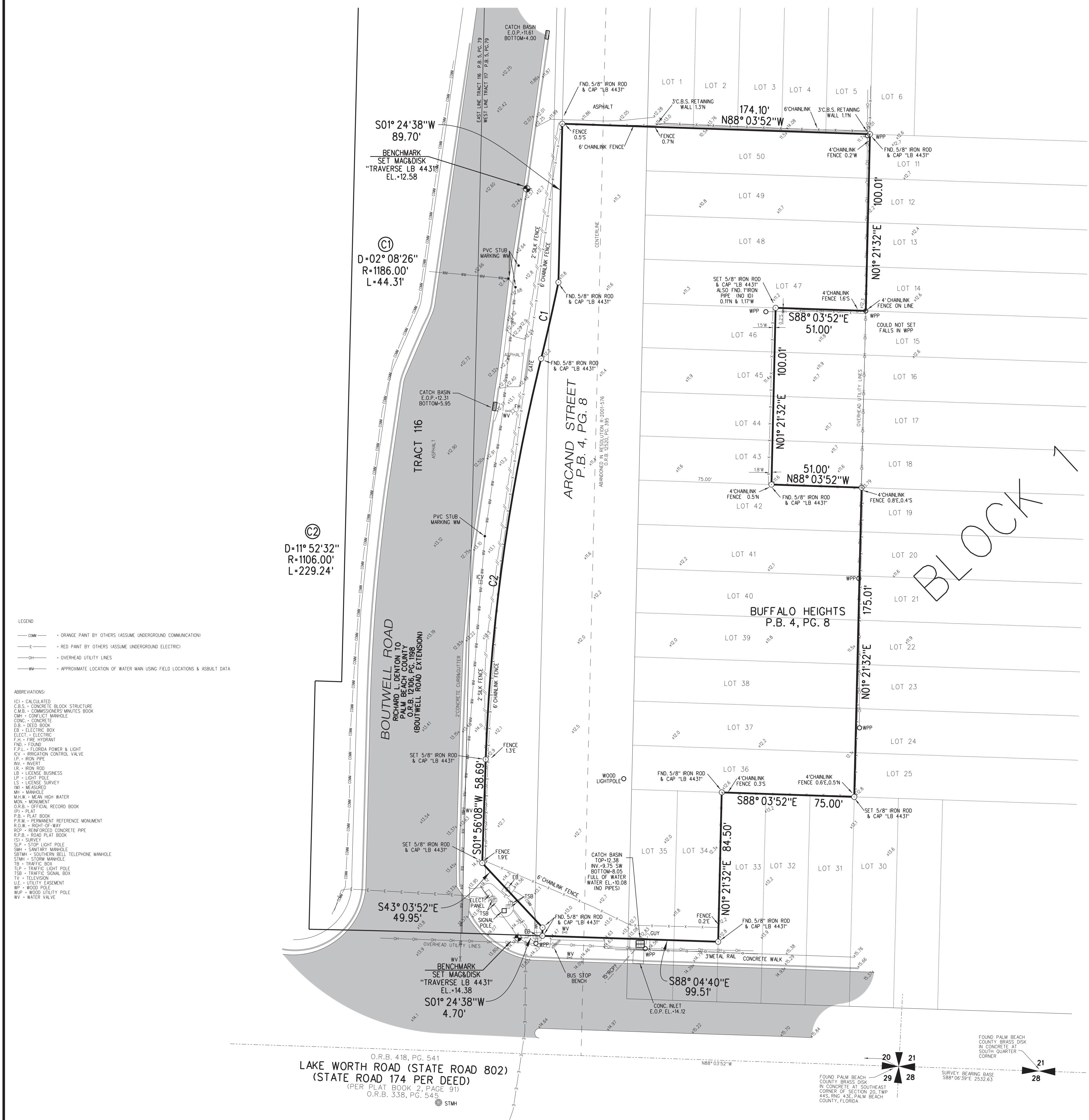
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING AREAS	Fc		2.34	4.2	1.0	2.34
PROPERTY LINE	Fc		0.03	0.2	0.0	N.A.

**SITE LIGHT POLE**  
 NO SCALE

**NOTES:**  
 1.) Pole manufacturer shall design footing for 170 MPH wind load.  
 2.) Fixture & pole shall be bronze finish.

**HCI**  
 1280 Foster Drive, Markham, Ontario, Canada L4W 1A4  
 Tel: (905) 239-2648 Fax: (905) 239-9660  
 Toll Free Canada & USA 1-800-367-3175  
 E: sales@hclighting.com WEB: www.hciighting.com

Diffuser Type: Clear  
 Diffuser Material: Tempered Glass  
 Hardware: Stainless steel.  
 Diffuser Material Holder: Die cast Aluminum and spun Aluminum.  
 Driver: LED high power factor mounted on a removable plate. A quick disconnect wiring system allows for fast and easy maintenance.  
 Wattage: 120 WATT  
 Voltage: -120V / 277V  
 CCT: -4000K  
 Photocontrol: None  
 Optical System: LED  
 Light Distribution: IES Type 4  
 Arm Material: The arm made of two 2-3/8" OD, 0.154" th Aluminum Extrusion.  
 Scroll Material: Scroll made of bent extruded 1" OD x 1/8" th Aluminum.  
 Tenon: 1/2" x 3.50" Round pole tenon.  
 Tenon: 2" ID Opening on Fixture side.  
 Pole: Steel-1 1/2" fluted, tapered (87" to 24") pole welded to steel base plate.  
 Base Cover: Two-piece cast aluminum attached to pole with four tamper-resistant stainless steel screws.  
 Anchor bolts: 4 galvanized 19mm (3/4") x 610 mm (24") long. The bolt circle template is supplied by HCI.  
 Bolt Circle 211-127".  
 Finish: Electrostatically applied thermoset polyester powder-coat with the XL4 four part corrosion inhibiting process.



**PROPERTY DESCRIPTION**

ALL THAT PART OF TRACT 117, MODEL LAND COMPANY SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING EAST OF THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 12106, PAGE 1198, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

ALL THAT PORTION OF ARCAND STREET, AS SHOWN ON THE PLAT OF BUFFALO HEIGHTS, AS RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF LAKE WORTH ROAD (STATE ROAD 802) AS SHOWN ROAD PLAT BOOK 2, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LYING SOUTH OF THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 50, AS SHOWN ON SAID PLAT, SAID PARCEL BEING A PORTION OF ARCAND STREET ABANDONED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY BY RESOLUTION R-2001-576, AND RECORDED IN OFFICIAL RECORD BOOK 12520, PAGE 395 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 34 THROUGH 42, LESS THE SOUTH 34.0 FEET OF LOTS 34 AND 35, FOR THE RIGHT OF WAY FOR STATE ROAD 802, ALSO KNOWN AS LAKE WORTH ROAD; AND LOTS 47 THROUGH 50, ALL IN BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**SURVEY REPORT**

- THIS IS A BOUNDARY SURVEY.
- LEGAL DESCRIPTION WAS FURNISHED BY CLIENT AS PER OFFICIAL RECORD BOOK 18400, PAGE 388.
- BEARING BASIS: S 88°06'39" E ALONG THE SOUTH LINE OF SECTION 21/44/43
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (OUTSIDE THE 0.2% CHANCE FLOODPLAIN). PER FLOOD INSURANCE RATE MAP NO. 12099C0777E, EFFECTIVE DATE OCTOBER 5, 2017. NO SEARCH FOR ANY MAP AMENDMENTS OR REVISIONS HAS BEEN MADE BY THIS OFFICE.
- TOTAL AREA - 77,316 SQUARE FEET, MORE OR LESS.
- THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY LIBBERG LAND SURVEYING, INC.
- ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1" IN 7,500'.
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE REFERENCED TO PALM BEACH COUNTY BENCHMARK "S 104" ELEVATION + 14.074. BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH. NOTE TO CONVERT FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 29) ADD 1.523 FEET.
- THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. PREPARED FOR: JUAN AND SYLVIA PADRON, KEITH H. PARK, P.A., ATTORNEYS TITLE INSURANCE FUND, INC., ATTORNEYS TITLE FUND SERVICES, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
- COPYRIGHT 2019 BY LIBBERG LAND SURVEYING, INC. THE SKETCH OF SURVEY AND REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY LIBBERG LAND SURVEYING, INC.

LIBBERG LAND SURVEYING, INC. Digitally signed by DAVID C. LIBBERG, DN: c=US, o=LIBBERG LAND SURVEYING, INC., ou=LIBBERG LAND SURVEYING, INC., cn=DAVID C. LIBBERG, 0.9.2342.19200100.100.1.1=A0109700000106E5CE8CB8000C49, dnm=20190709 09:35:19-0400

DATE OF SURVEY: FEBRUARY 7, 2019

BY: DAVID C. LIBBERG, PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA CERTIFICATE No. 3613

DATE	REVISIONS	BY:
03/07/19	UPDATE SURVEY - ROD TOPO - 405-0611005-0611005-DGN (FILED)	R.J.B.
05/10/13	UPDATE SURVEY - 05-0611044 - F.B. 843/47 - J.P.	L.J.C.
07/07/11	UPDATE SURVEY - 05-061104 - F.B. 607/54 - K.F.	L.J.C.

**LIBBERG LAND SURVEYING, INC.**  
 675 West Indiantown Road, Suite 200,  
 Jupiter, Florida 33458 TEL. 561-746-8454

**BOUNDARY SURVEY  
 BUFFALO HEIGHTS**  
 PREPARED FOR:  
**JUAN AND SYLVIA PADRON**

CAD:	K:\UST\20444\305-0611005-0611005-DGN		
REF:			
FLD.	B.D.	FB.	PG.
OFF.	L.J.C.	473	08
CKD.	D.C.L.	SHEET 1	OF 1
			DATE 05/25/05
			DWG. 005-061



# Litterick Landscape Architecture

2740 SW Martin Downs Blvd. #199  
Palm City, FL 34990  
561-719-3876  
JasonLA1677@yahoo.com

Project Name

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA

## 2202 LAKE WORTH ROAD, LLC.

2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

Landscape Architect of Record



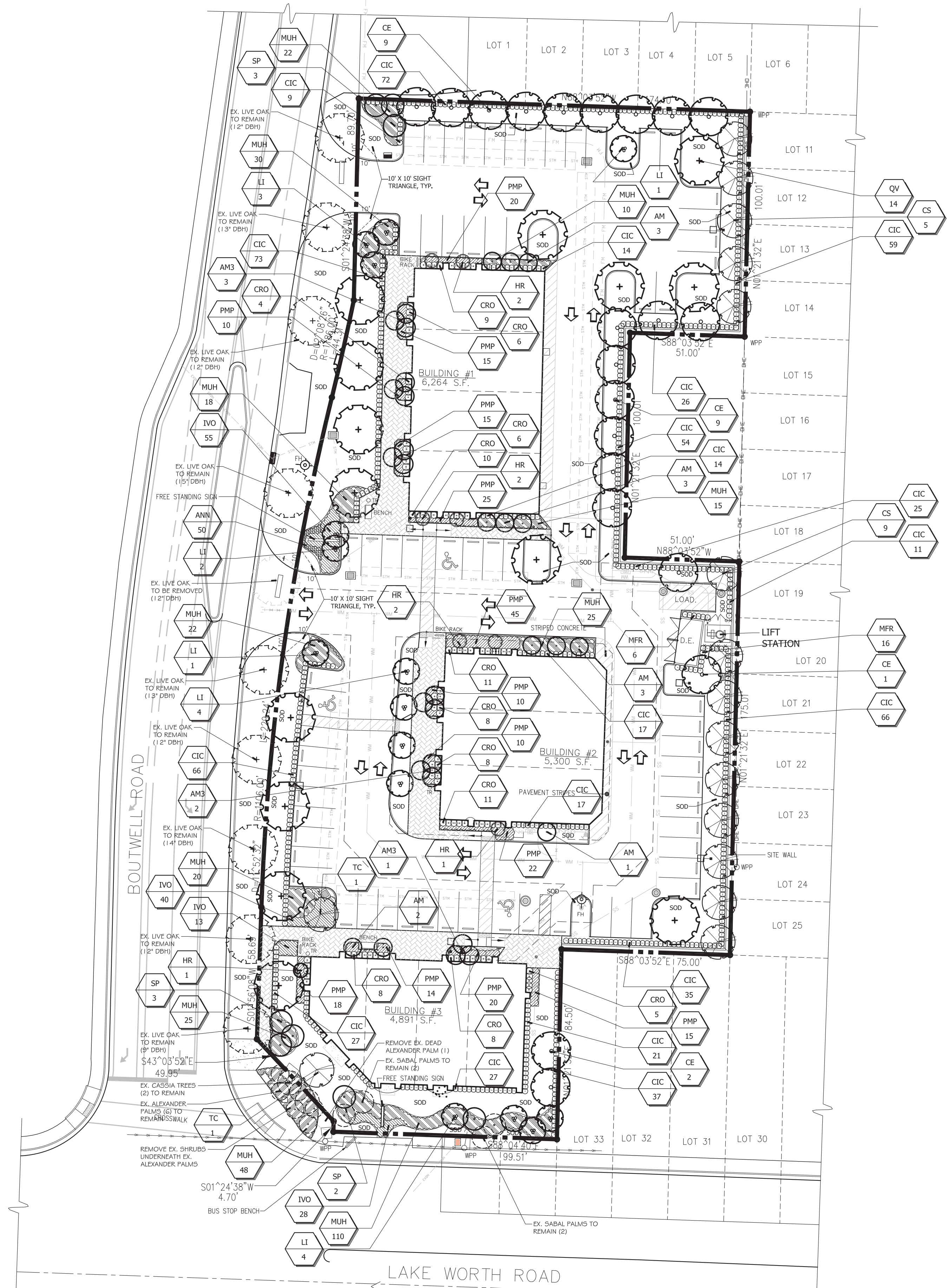
Jason M. Litterick, RLA (LA0001677)

Scale: 1" = 30'-0"

Designed: JML  
Drawn: JML  
Approved: JML  
Date: 7/17/19  
Job no.  
Revisions: 10/7/19  
1/16/20

Sheet No.

# LP-1



### PLANT LIST

SYM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPR.	NOTES:
* V	QV 14	QUERCUS VIRGINIANA	LIVE OAK	14' O.A., 3" DBH	6' MIN.	FULL & THICK, SINGLE TRUNK
M	AM3 6	ADONIDIA MERRILLII	CHRISTMAS PALM (TRIPLE)	12-14' O.A.	-	FULL & THICK, TRIPLE TRUNK
M	AM 12	ADONIDIA MERRILLII	CHRISTMAS PALM (SINGLE)	12' O.A.	-	FULL & THICK, MATCHED HEIGHTS
V	TC 2	TABEUIA CARAIBA	YELLOW TABEUIA	14' O.A., 3" DBH	6' MIN.	FULL & THICK, SINGLE TRUNK
* V	CS 14	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD	12' O.A., 3" DBH	6' MIN.	FULL & THICK, SINGLE TRUNK
* V	CE 21	CONOCARPUS ERECTUS	GREEN BUTTWOOD	12' O.A., 3" DBH	6' MIN.	FULL & THICK, SINGLE TRUNK
* V	SP 8	SABAL PALMETTO	CABBAGE PALM	8'-12' C.T.	-	FULL & THICK, STAGGER HEIGHTS, SLICK
M	LI 15	LAGERSTOEMIA INDICA 'MUSKOGEE'	CRAPE MYRTLE STD.	12' O.A.	6' SPD.	FULL & THICK, SINGLE-TRUNK, 4' C.T.
M	HR 8	HIBISCUS ROSA-SIENSIS	PINK HIBISCUS STD.	#25, 7' O.A.	4'	FULL & THICK, STANDARD

KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPR.	O.C.	REMARKS
* V	CIC 670	CHRYSOBALANUS (CACO 'RED TIP'	RED TIP COCOPLUM	#3, 24" MIN.	18" MIN.	24"	FULL & THICK TO BASE
* V	MUH 325	MUHLENBERGIA CAPILLARIS	MUHL GRASS	#3, 16" O.A.	16"	30"	FULL & THICK TO BASE
M	ANN 50	ANNUALS	IN SEASON	4-6" POTS	6"	12"	FULL & THICK TO BASE
* V	MFR 22	MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	#3, 24" O.A.	18"	24"	FULL & THICK TO BASE
* V	PMP 239	PODOCARPUS MACROPHYLLIS 'PRINGLES'	DWF. PODOCARPUS	#3, 16" O.A.	14"	24"	FULL & THICK TO BASE
* V	IVO 136	ILEX VOMITORIA	DWF. YAUPON HOLLY	#3, 18" O.A.	18"	24"	FULL & THICK TO BASE
M	CRO 94	CODIAEUM VARIEGATUM 'MAGNIFICENT'	MAGNIFICENT CROTON	#3, 20" O.A.	18"	30"	FULL & THICK TO BASE

\* ASTERISK DENOTES NATIVE PLANT MATERIAL  
 V INDICATES VERY DROUGHT TOLERANT PLANT MATERIAL  
 M INDICATES MODERATELY DROUGHT TOLERANT PLANT MATERIAL

SOD: ST. AUGUSTINE 'FLORITAM'  
 MULCH: 3" SHREDDED MELALEUCA MULCH (OR APPROVED RECYCLED MULCH) TO BE APPLIED TO ALL PLANTING BEDS.

PERCENTAGE OF NATIVE TREES AND PALMS REQUIRED: 50%  
 PERCENTAGE OF NATIVE TREES AND PALMS PROVIDED: 62.6%

IRRIGATION NOTE:  
 ALL NEW AND EXISTING LANDSCAPE AREAS SHALL RECEIVE 100% OVERLAP COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.  
 IRRIGATION WATER SOURCE: WELL & PUMP

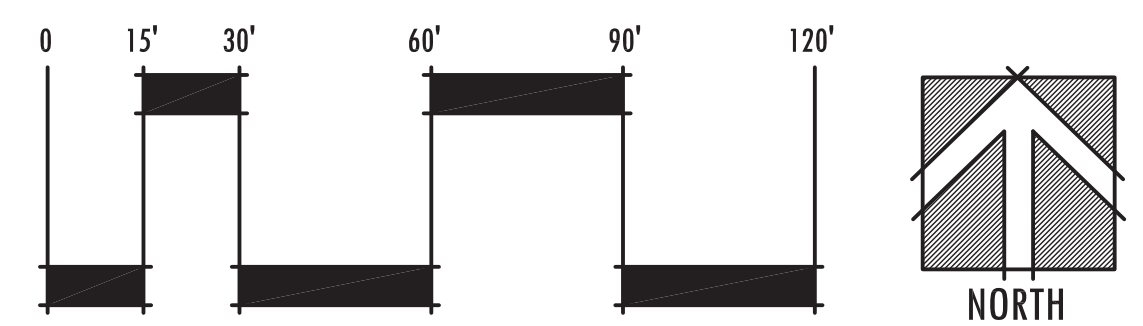
### LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'GRADES AND STANDARDS' LATEST EDITION.
2. ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF LAKE WORTH CODE.
3. THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF LAKE WORTH, THE OWNER, AND THE LANDSCAPE ARCHITECT.
4. THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
6. ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.
7. ALL SOD SHALL BE STENOTAPHRUM SECUNDATUM FLORITAM (ST. AUGUSTINE SOD).
8. ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT INTERSECTIONS PURSUANT TO FLORIDA DEPARTMENT OF TRANSPORTATION SIGHT LINE GUIDELINES.
9. CLEAR VISIONABILITY SHALL BE MAINTAINED BETWEEN 30" AND 4" WITHIN SIGHT VISIONABILITY TRIANGLES. 15' X 30' SIGHT VISIONABILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. IN ADDITION, ALL LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF FOOT INDEX 546.
10. ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS. EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.
11. ALL PROPOSED LANDSCAPE AREAS SHALL RECEIVE 100% OVERLAP COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSING DEVICE ACCORDING TO LOCAL AND STATE CODES. IRRIGATION WATER SHALL BE PULLED FROM A WELL SOURCE AND CITY WATER WILL BE USED AROUND BUILDING.
12. ALL ABOVE GROUND UTILITIES SHALL BE SCREENED FROM VIEW ON THREE SIDES WITH AN APPROPRIATE HEDGE MATERIAL. HEIGHT OF PLANT MATERIAL AT TIME OF INSTALLATION SHALL BE AT LEAST AS TALL AS THE UTILITY BEING SCREENED AND SHALL BE SPACED APPROPRIATELY IN ORDER TO PROVIDE COMPLETE SCREENING OF UTILITY WITHIN ONE YEAR OF INSTALLATION.
13. ALL TREES NOT LOCATED WITHIN A LANDSCAPE BED SHALL RECEIVE A 4-5" DIA. MULCH RING.
14. ALL EXOTIC AND NUISANCE VEGETATION SHALL BE REMOVED FROM SUBJECT PROPERTY PRIOR TO ANY CERTIFICATE OF OCCUPANCY.
15. TREES ARE TO BE INSTALLED WITH A 10" SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A 10" SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. HOWEVER IN NO CASE SHALL A TREE ENCRUST INTO A PCDIE WITHOUT PRIOR PRECWD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.
16. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE HEIGHT, SPREAD AND DBH SHOWN ON THE PLANT LIST. CONTAINER SIZES ARE GIVEN AS A SUGGESTION ONLY.



Know what's below  
Call before you dig.

## Landscape Plan

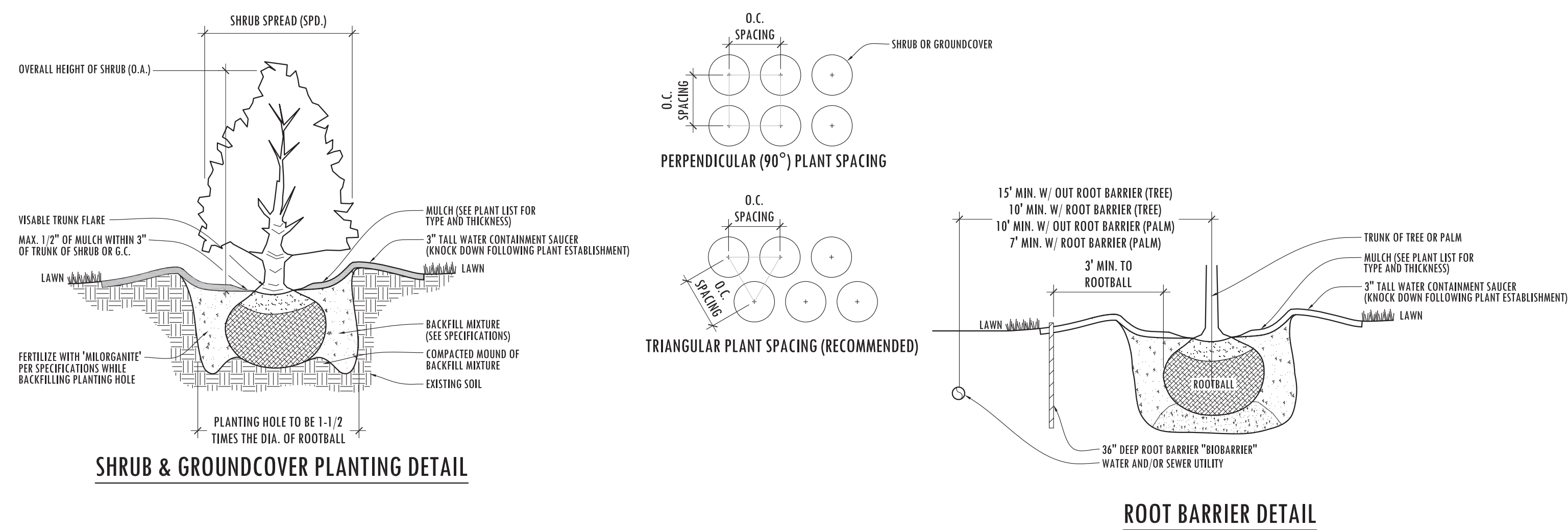
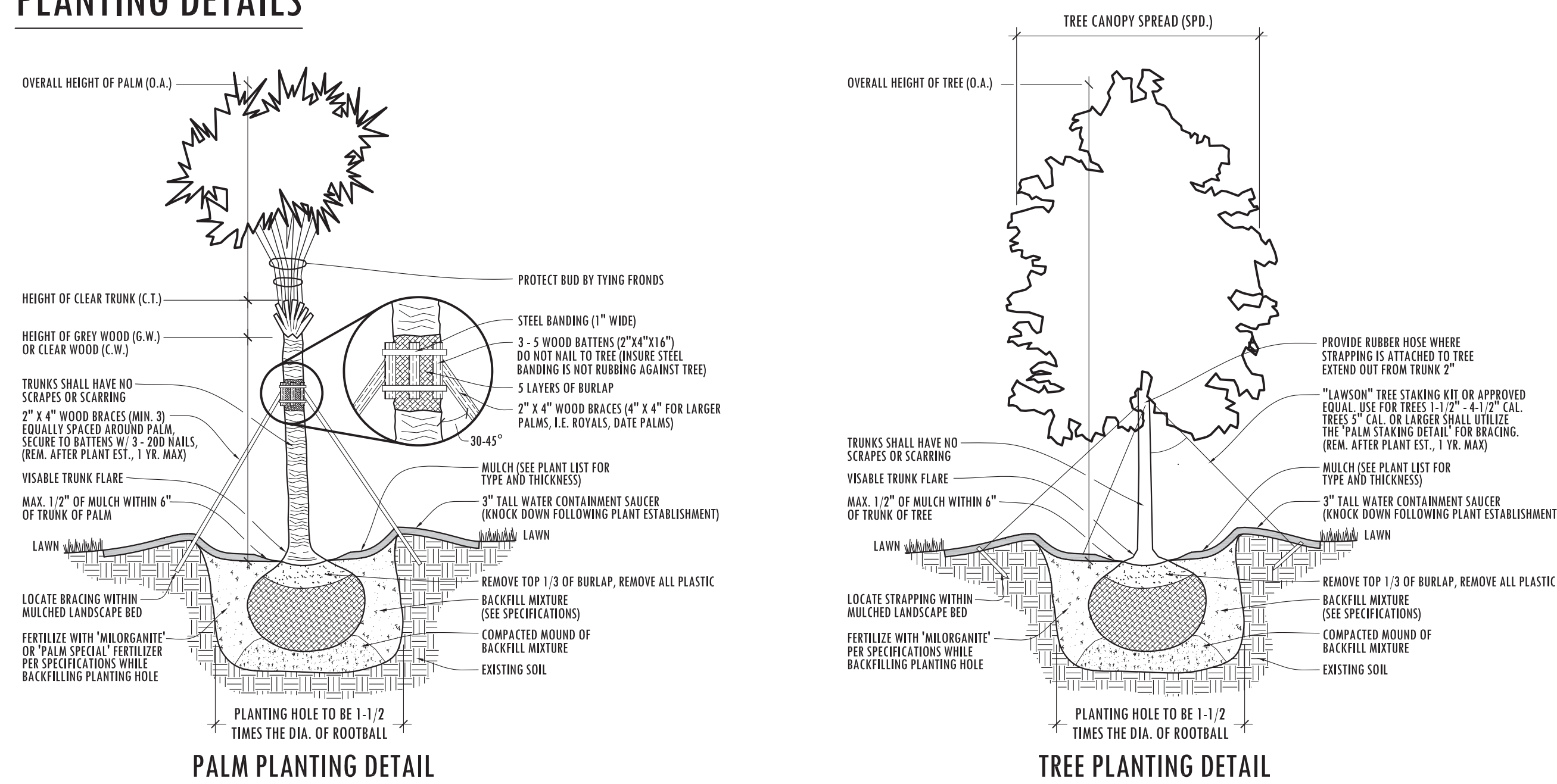


REFER TO SHEET LP-2 FOR PLANTING DETAILS AND SPECIFICATIONS

# PLANT LIST

SEE SHEET LP-1 FOR PLANT LIST

## PLANTING DETAILS



# PLANTING SPECIFICATIONS

**1. SCOPE OF WORK**

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

**2. QUALITY ASSURANCE**

LANDSCAPE CONTRACTOR MUST BE REGULARLY ENGAGED IN THE INSTALLATION OF LIVING PLANT MATERIAL. LABOR CREWS SHALL BE CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN LANDSCAPE INSTALLATION, PLANT MATERIALS, READING PLANS AND COORDINATION BETWEEN THE JOB AND NURSERY.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL REVIEW LAYOUT AND SCHEDULING PRIOR TO INSTALLATION OF MATERIAL. MINOR ADJUSTMENT TO IRRIGATION DESIGN MAY BE MADE IN RESPONSE TO THE NEEDS OF SPECIFIC PLANT MATERIAL. THE LANDSCAPE ARCHITECT MUST BE NOTIFIED OF SUCH CHANGES.

**3. MATERIALS**

**PLANT SIZE AND QUALITY**

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DIGG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND PALMS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE FREE OF WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

CONTAINER GROWN PLANTS SHALL HAVE A DEVELOPED ROOT STRUCTURE SO THAT THE ROOT MASS STAYS IN TACT WHEN REMOVED FROM CONTAINER. IN NO CASE SHALL THE PLANT CONTAIN CIRCLING ROOTS NOR BE ROOT-BOUND.

**QUANTITIES**

ALL QUANTITIES INDICATED ON THE PLANT LIST ARE INTENDED AS A GUIDE FOR THE BIDDERS AND DOES NOT RELIEVE THE BIDDER OF HIS RESPONSIBILITY TO DO A COMPREHENSIVE PLANT TAKE OFF. SHALL A DISCREPANCY OCCUR BETWEEN THE BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF THE BID.

**MULCH**

MULCH SHALL BE A SHREDDED VARIETY AS SPECIFIED IN THE PLANT LIST. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3" EXCEPT FOR THOSE SPECIFIC SITUATIONS SHOWN BELOW IN SECTION 4 AND IN PLANTING DETAILS.

**FERTILIZER**

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF "MILORGANITE" ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS. FERTILIZE ALL NEW PLANTINGS PER RATES SHOWN BELOW:

**TREES:**

FERTILIZE NEW TREES WITH "MILORGANITE" AT THE FOLLOWING RATES:

- 8' AND SMALLER: 2-4 LBS.
- 8'-12' TALL: 4-6 LBS.
- 12' AND TALLER: 6-8 LBS.

(3 CUPS = 1 LB.)

**SHRUBS:**

FERTILIZE NEW SHRUBS AND ACCENTS WITH "MILORGANITE" AT THE FOLLOWING RATES:

- 4-6" POTS: 1/2 CUP
- 1 GAL.: 1/2 CUP
- 3 GAL.: 1 CUP
- 7-10 GAL.: 2 CUPS
- 15 GAL. AND GREATER: 3 CUPS

**PALM TREES:**

FERTILIZE NEW PALM TREES WITH A "PALM SPECIAL" FERTILIZER IN SLOW RELEASE FORM. FERTILIZER SHALL CONTAIN AN ADDITIONAL MAGNESIUM AND MICRO-NUTRIENT AMENDMENT.

**SOIL**

PLANTING SOIL SHALL BE SANDY LOAM AND SHALL CONTAIN A 25% MINIMUM AMOUNT OF DECOMPOSED ORGANIC MATTER. PLANTING SOIL SHALL BE FREE OF CLAY, STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

**4. EXECUTION**

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 6 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

AFTER FINAL SETTLING OF BALLED AND BURLAPED PLANTS, LOOSEN BURLAP WRAPPING EXPOSING THE TOP OF THE ROOTBALL, LEAVING THE BALL UNBROKEN. REMOVE EXCESS AMOUNTS OF BURLAP TO ELIMINATE VOIDS WHICH MAY BE CAUSED UPON DECOMPOSITION.

CONTAINER GROWN PLANTS SHALL, WHEN DELIVERED, SHALL HAVE SUFFICIENCY GROWTH TO HOLD EARTH INTACT WHEN REMOVED FROM CONTAINER AND SHALL NOT BE ROOT BOUND. PLANT PITS FOR CONTAINER MATERIALS SHALL BE FORMED FLAT ON THE BOTTOM TO AVOID AIR POCKETS AT THE BOTTOM OF ROOT BALLS AND CONTAINERS SHALL BE REMOVED CAREFULLY TO PREVENT DAMAGE TO THE PLANT OR ROOT SYSTEMS.

TEST TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. PITS WHICH ARE FOUND NOT TO BE ADEQUATELY DRAINING SHALL BE EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE AND BACKFILLING WITH GRAVEL OR CRUSHED ROCK. NO ALLOWANCES WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE.

**PLANTING BED PREPARATION**

ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPERTS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

**PLANTING TREES**

EXCAVATE PIT AS PER PLANTING DETAILS. COMPACT LAYER OF TOPSOIL IN PIT WITH A SLIGHTLY DISHED GRADE TO CENTER.

BACKFILL AROUND BALL WITH TOPSOIL AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

**PLANTING SHRUBS**

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

**PLANTING GROUND COVER**

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. PURPLE QUEEN GROUND COVER, IF SPECIFIED, SHALL ONLY RECEIVE 1" OF MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

**PLANTING SOD**

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING. SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT, AND SHALL CONTAIN NO BERMOUDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH GRADE ALL LANDSCAPE AREAS, ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 1 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

**5. MISCELLANEOUS LANDSCAPE WORK**

**LANDSCAPE MAINTENANCE**

MAINTAIN LANDSCAPE WORK IMMEDIATELY AFTER PLANTING AND UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

IN THE EVENT OF SERIOUS DAMAGE FROM INSECTS OR DISEASE PRIOR TO FINAL ACCEPTANCE, THE PLANTS SHALL BE TREATED BY PREVENTATIVE OR REMEDIAL MEASURES APPROVED FOR GOOD HORTICULTURAL PRACTICE AT NO ADDITIONAL COST TO THE OWNER.

**CLEAN UP**

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

ANY SOIL, PEAT OR SIMILAR MATERIAL WHICH HAS BEEN BROUGHT ONTO ANY PAVED AREAS SHALL BE REMOVED PROMPTLY KEEPING THESE AREAS CLEAN AS THE WORK PROGRESSES. UPON COMPLETION OF THE PLANTING, ALL EXCESS SOIL, STONES AND DEBRIS WHICH HAS NOT BEEN PREVIOUSLY CLEANED UP SHALL BE REMOVED FROM THE SITE.

**INSPECTION & ACCEPTANCE**

THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT UPON COMPLETION OF THE WORK TO REQUEST A FINAL INSPECTION OF THE INSTALLATION AND PLANT MATERIALS. THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WILL NOTIFY THE LANDSCAPE CONTRACTOR OF ANY DEFICIENCIES AS A "PUNCH LIST" WHICH SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR. CONDITIONAL LANDSCAPE ACCEPTANCE OF ALL PLANT MATERIAL AND WORKMANSHIP WILL BE GIVEN IN WRITING BY THE LANDSCAPE ARCHITECT AFTER ALL "PUNCH LIST" ITEMS HAVE BEEN CORRECTED AND ANY PLANT REPLACEMENTS MADE. THIS ACCEPTANCE WILL BEGIN THE WARRANTY PERIOD. DEFICIENCIES NOTED AFTER THE CONDITIONAL LANDSCAPE ACCEPTANCE SHALL BE RECTIFIED DURING THE WARRANTY PERIOD AND PRIOR TO FINAL LANDSCAPE ACCEPTANCE.

**GUARANTEE AND REPLACEMENT**

ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL LANDSCAPE ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ANY PLANT MATERIAL OR WORKMANSHIP THAT IS DEFICIENT OR HAS DIED SHALL BE REPLACED AT THE SAME SPECIFICATION NOTED IN THE APPROVED LANDSCAPE PLANS. REPLACEMENTS SHALL BE MADE BY THE LANDSCAPE CONTRACTOR WITHIN TWO (2) WEEKS OF NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER. WARRANTIES OF REPLACEMENT MATERIAL SHALL BE SIX (6) MONTHS FROM THE DATE OF REPLACEMENT INSTALLATION. DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM OR AUTOMOBILES OR BY NEGLIGENCE BY THE OWNER SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. UNLESS OTHERWISE ARRANGED WITH THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR GENERAL PLANT MAINTENANCE INCLUDING WATERING AND MOWING UP UNTIL THE DATE OF CONDITIONAL ACCEPTANCE.

**PLANT MATERIAL SUBSTITUTION**

THERE WILL BE NO SUBSTITUTION OF PLANT MATERIAL UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THIS INCLUDES SPECIES AND SIZE OF PLANT MATERIAL.



**Litterick Landscape Architecture**

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Palm City, FL 34990  
561-719-3876  
JasonL1677@yahoo.com

Project Name

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA

**2202 LAKE WORTH ROAD, LLC.**

2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

Landscape Architect of Record

**Jason Litterick**

Digitally signed by Jason Litterick  
Date: 2020.01.15 11:51:03 -05'00'

Jason M. Litterick, R.L.A. (LA0001677)

Scale: Not to Scale

Designed: JML  
Drawn: JML  
Approved: JML  
Date: 7/17/19  
Job no.: 10/7/19  
Revisions: 1/16/20

Sheet No.

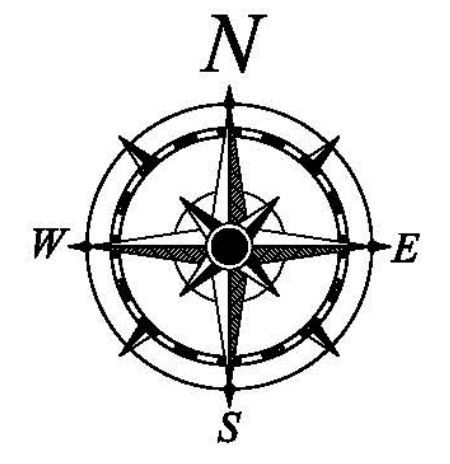
**LP-2**

# Landscape Specifications & Planting Details



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& Associates, P.A.**  
Civil Engineers

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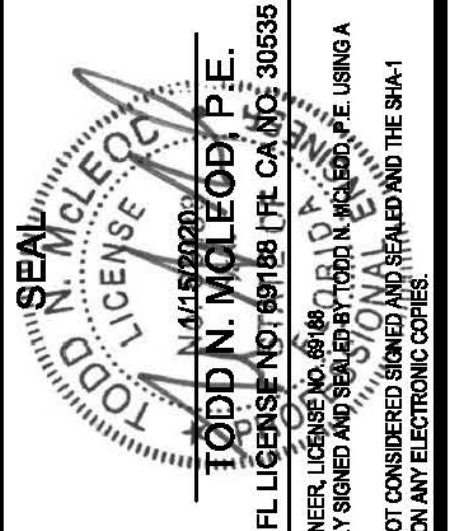
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**LEGEND**

PROP. SIGN	
SURFACE FLOW ARROW	
PROP. CONCRETE PAVEMENT	
PROP. PERMEABLE CONCRETE	
PROP. DECORATIVE CONCRETE	
PROPOSED ELEVATION	
EXIST. ELEVATION	

**NOTES:**

- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY LIDBERG LAND SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY KUOPPALA & ASSOCIATES FOR ADDITIONAL SITE REQUIREMENTS.
- ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.



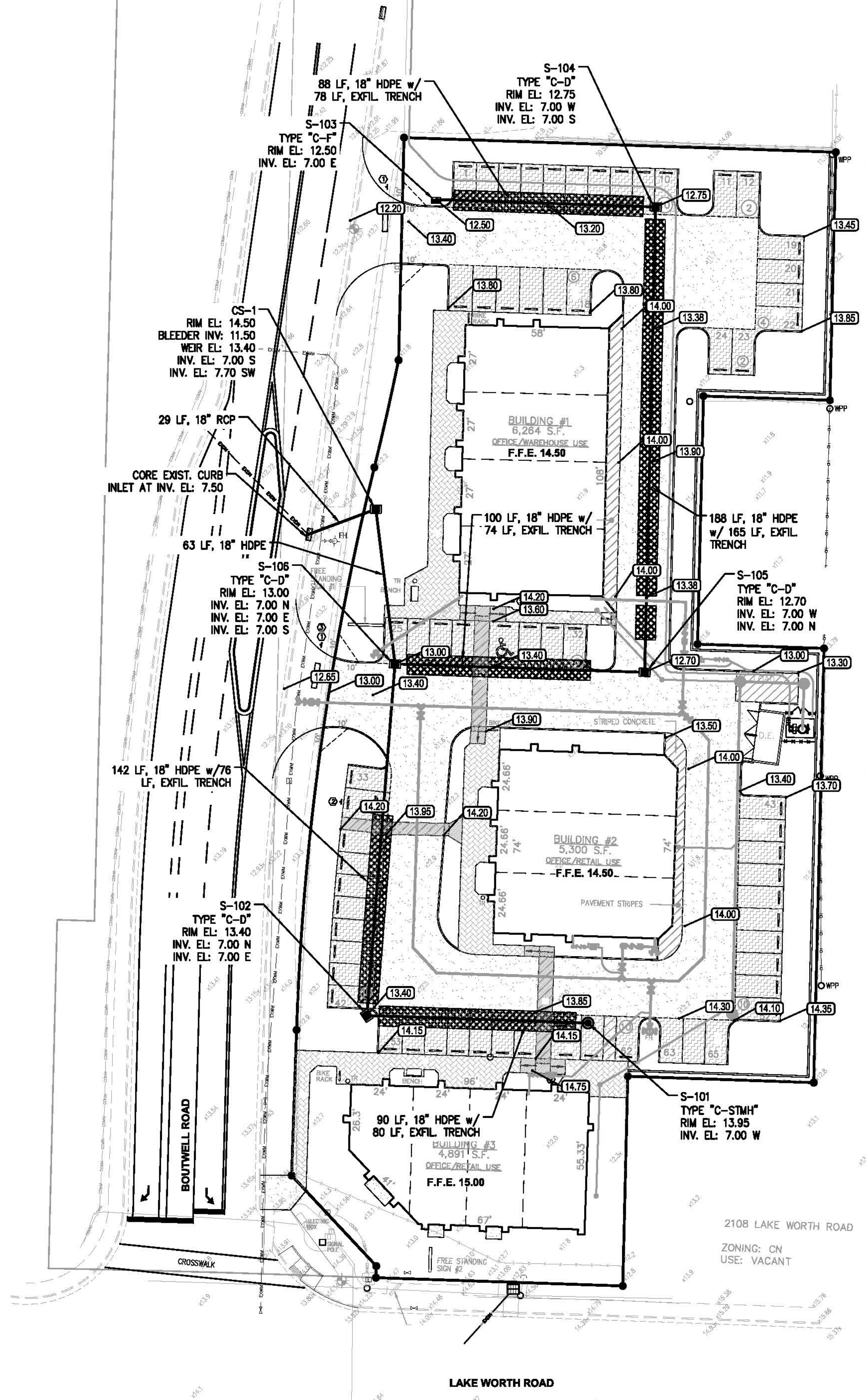
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DESIGNED: TMM  
APPROVED: TMM  
PROJECT #: 19-046  
TODD N. McLEOD, P.E.  
FL LICENSE NUMBER: 17618  
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NO.	DATE	REVISIONS
2	10/20/20	REV PER NEW SITE PLAN
1	10/17/19	REV PER NEW SITE PLAN

**CONCEPTUAL PAVING, GRADING, &  
DRAINAGE PLAN**  
2202 LAKE WORTH ROAD, LLC  
2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

SCALE: AS SHOWN  
DATE: 7/15/19

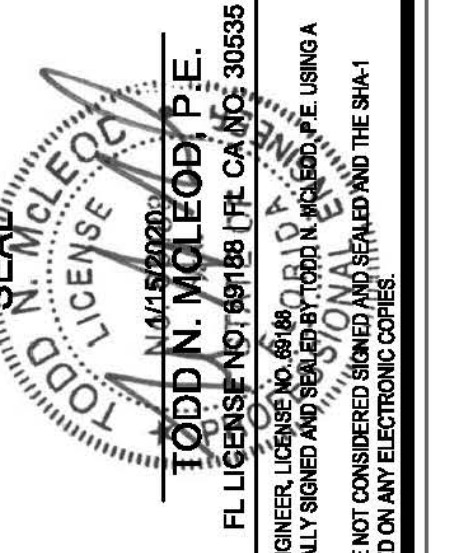
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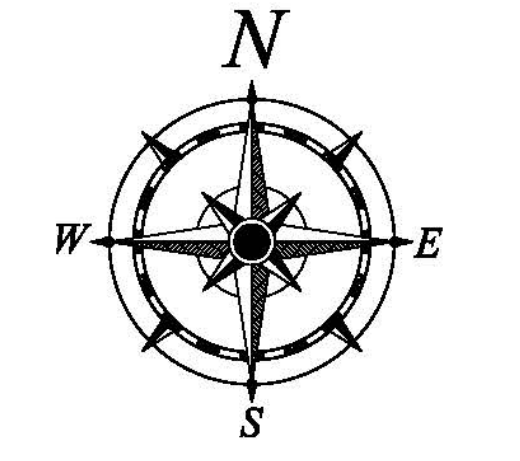
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DESIGNED: TMM  
APPROVED: TMM  
PROJECT #: 19-046

NO.	DATE	REVISIONS
2	11/20/20	REV PER NEW SITE PLAN
1	10/17/18	REV PER NEW SITE PLAN

**CONCEPTUAL WATER  
& WASTEWATER PLAN**  
2202 LAKE WORTH ROAD, LLC  
2202 LAKE WORTH ROAD  
LAKE WORTH BEACH, FLORIDA

SCALE: AS SHOWN  
DATE: 7/15/19

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OF 3



0 30 60  
SCALE: 1" = 30'

**LEGEND**

	EASEMENT LINE
	EXISTING WATER MAIN, GATE VALVE (G.V.), TEE, F.H. AND PLUG
	EXISTING SANITARY SEWER MAIN, MANHOLE AND DIRECTION OF FLOW.
	PROPOSED WATER MAIN, GATE VALVE (G.V.), BEND AND TEE WITH FIRE HYDRANT ASSEMBLY.
	PROPOSED SANITARY SEWER MAIN, SINGLE & DOUBLE SEWER SERVICE CLEAN OUT (C.O.), MANHOLE AND
	CONCRETE
	PAVEMENT RESTORATION
	ASPHALT PAVEMENT
	UTILITY CONFLICT
	UTILITY EASEMENT

**NOTES:**

1. ALL WATER & SEWER FACILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF LAKE WORTH UTILITIES DEPARTMENT STANDARDS, LATEST EDITION.
2. UTILITY LOCATIONS SHOWN BASED ON INFORMATION PROVIDED BY CLW PUBLIC SERVICES & UTILITIES DEPARTMENTS. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES, AND MUST CALL 811 AT LEAST 48 HRS PRIOR TO EXCAVATION.
3. ALL UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL PROVIDE ENGINEER AND CITY A MINIMUM OF 48 HOURS NOTICE FOR ALL INSPECTIONS.
5. ALL RPZ BACKFLOW PREVENTERS SHALL BE USC APPROVED.
6. ALL FIRELINE PIPING SHALL BE DIP AND SHALL BE PRESSURE TESTED WITH PBC FIRE RESCUE PERSONNEL PRESENT, FIRELINE JOINTS EXPOSED, AND IN ACCORDANCE WITH PBCFR/NFPA REQUIREMENTS.
7. CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE TO DCDA TAMPER SWITCHES.

NOTE: ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555.320(10), F.A.C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.

**RECORD DRAWING NOTES:**

1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE CITY OF LAKE WORTH STANDARDS.
4. STATE PLANE COORDINATES SHALL BE SHOWN ON PROPERTY CORNERS.

**GENERAL WATER NOTES:**

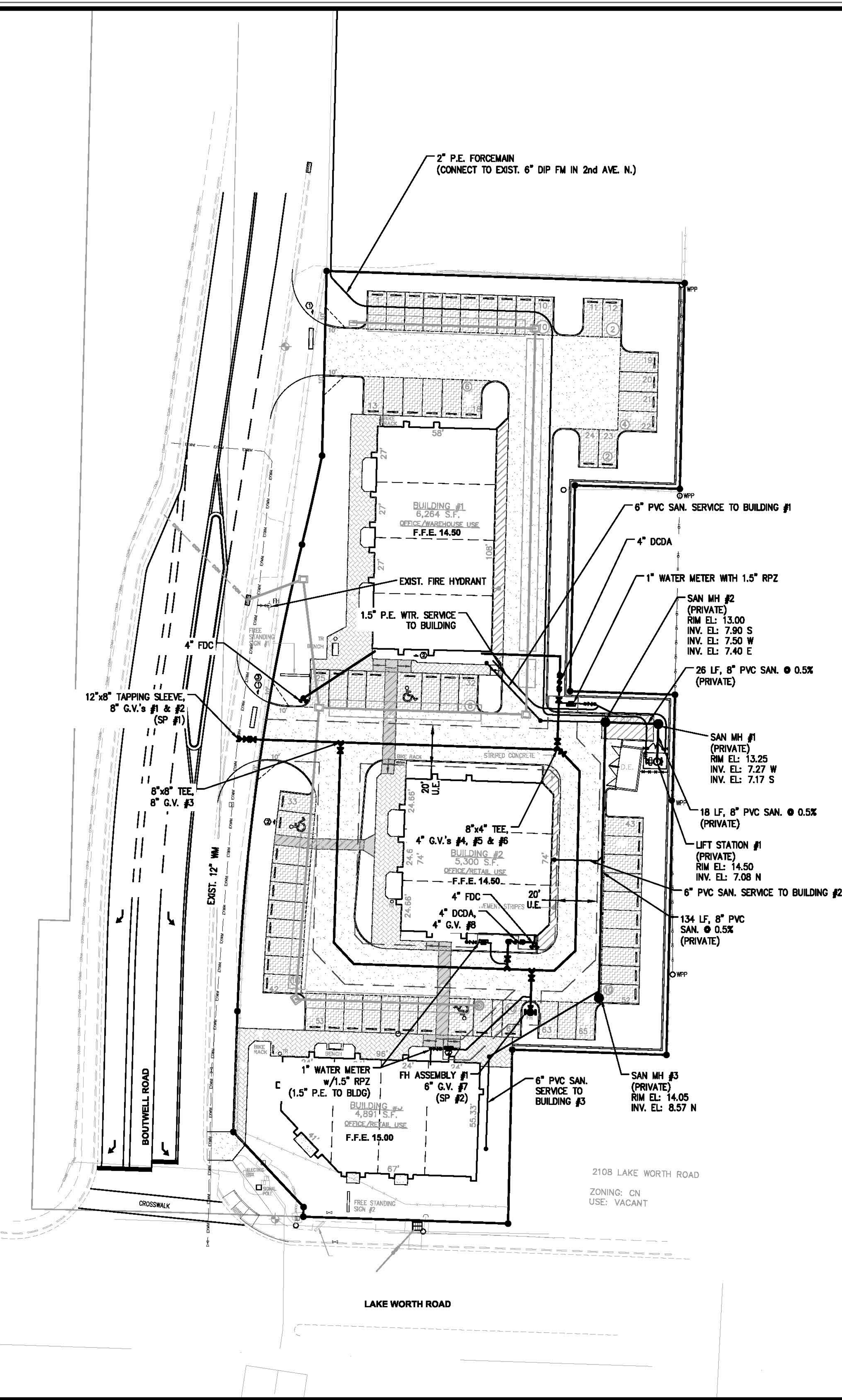
1. ALL WATER MAIN DUCTILE IRON PIPE (DIP) AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
2. ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 6" WIDE MAGNETIC BLUE CODED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
3. ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
4. ALL EXISTING VALVE BOXES WITHIN PROJECT LIMITS SHALL BE REPLACED. BOXES SHALL BE ADJUSTED TO FINAL FINISHED GRADE, AS REQUIRED. VALVE BOXES IN GREEN/UNPAVED AREAS SHALL HAVE 2'x2' CONC. COLLARS POURED.

**GENERAL SEWER NOTES:**

1. ON-SITE SEWER LATERALS, FORCEMAIN, & SEWER MAINS ARE PRIVATELY OWNED AND MAINTAINED.

**NOTES:**

1. PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
2. ALL SANITARY SEWER SHALL BE P.V.C. SDR 26 (UNLESS OTHERWISE NOTED).
3. ALL WATER MAINS & FORCE MAINS SHALL BE DUCTILE IRON UNLESS OTHERWISE NOTED.
4. FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7.5' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT.
5. VALVES SHALL NOT BE PLACED IN CURBS.
6. ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
7. MAGNETIC TAPE IS REQUIRED FOR ALL WATER & FORCE MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW" OR "CAUTION - FORCE MAIN BURIED BELOW", AS REQUIRED.
8. RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL NON-PERPENDICULAR WATER MAIN SERVICES.
9. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW CITY OF LAKE WORTH CONSTRUCTION STANDARDS, LATEST EDITION.
10. ALL WATERMANS TO CROSS OVER SANITARY SEWER SERVICES, WHERE 18" MINIMUM CLEARANCE CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATERMAIN SHALL BE CENTERED ON THE CROSSING AND THE SEWER SERVICE SHALL BE C-900, SDR-18. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.
13. WATER/SEWER SYMBOLS ARE REPRESENTATIVE OF THE CORRESPONDING FITTINGS ONLY. CONTRACTOR SHALL NOT ATTEMPT TO ATTEMPT TO CONSTRUCT WATER/SEWER SYSTEM BY SCALING THE SYMBOLS FROM THESE PLANS. ALL FITTINGS SHALL INSTEAD BE BUILT PER THE ENCLOSED DETAILS.
14. CONTRACTOR SHALL PROVIDE COMPLETE 3 PHASE ELECTRICAL SERVICE TO LIFT STATION. CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS WITH ATLANTIC ENVIRONMENTAL SYSTEMS PRIOR TO SUBMITTING SHOP DRAWINGS.
15. ALL PRIVATE FIRE LINES AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH NFPA STANDARDS.







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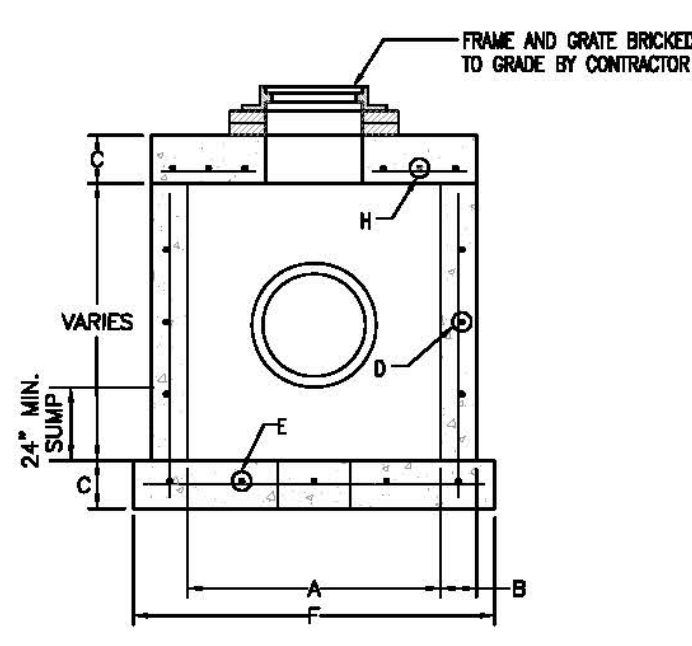
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DESIGNED: TMM  
APPROVED: TMM  
PROJECT #: 19-046  
TODD N. McLEOD, P.E.  
FL LICENSE NO. 48466  
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1 10/7/19 REV PER NEW SITE PLAN

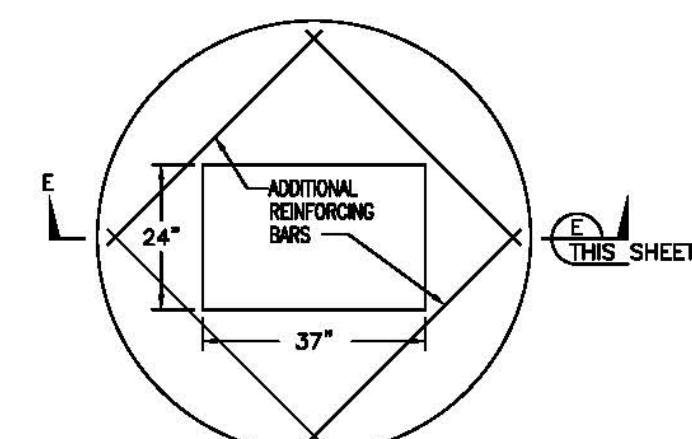
**PRELIMINARY ENGINEERING DETAILS**  
**2202 LAKE WORTH ROAD, LLC**  
**2202 LAKE WORTH ROAD**  
**LAKE WORTH BEACH, FLORIDA**

SCALE: AS SHOWN  
DATE: 7/15/19

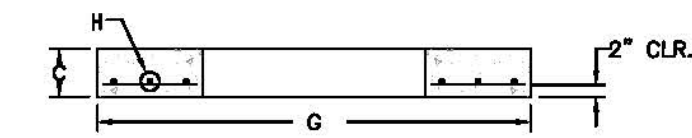
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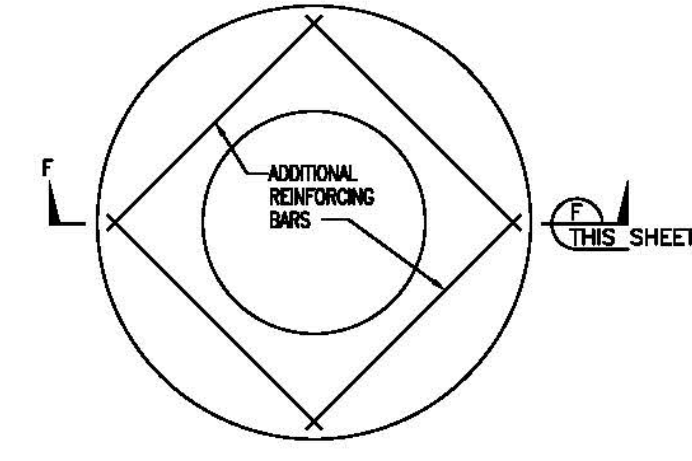
**CATCH BASIN**  
(SEE TABLE FOR DIMENSIONS)



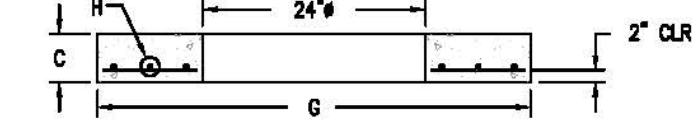
**TOP SLAB FOR CATCH BASIN**



**SECTION E**  
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**TOP SLAB FOR MANHOLE**



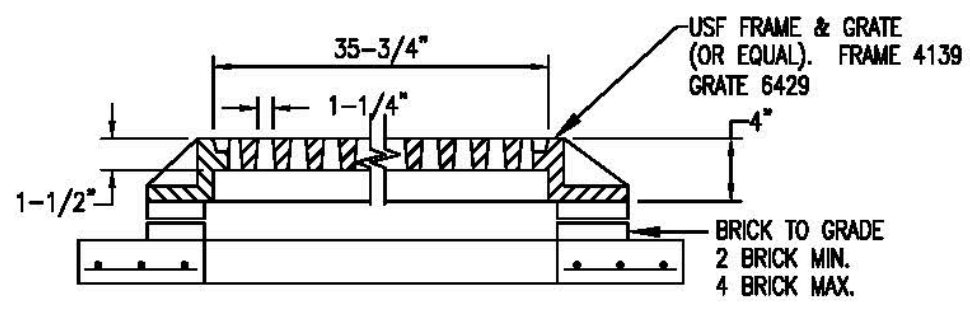
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(SEE TABLE FOR DIMENSIONS) THIS SHEET

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3'-6"	6"	8"	ASPH C-476	#4 @ 12"	5'-0"	4'-5"	#4 @ 8"
4'	8"	8"	ASPH C-476	#4 @ 12"	8'-0"	5'-0"	#4 @ 8"
4'	8"	8"	ASPH C-476	#4 @ 12"	8'-4"	5'-4"	#4 @ 8"
5'-0"	8"	8"	ASPH C-476	#5 @ 12"	7'-4"	5'-4"	#5 @ 8"
6'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-0"	7'-0"	#5 @ 8"
6'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-4"	7'-4"	#5 @ 8"
7'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-4"	8'-4"	#5 @ 8"
8'-0"	10"	10"	ASPH C-476	#5 @ 8"	10'-8"	9'-8"	#5 @ 8"
10'-0"	12"	12"	ASPH C-476	#5 @ 8"	12'-0"	12'-0"	#5 @ 8"

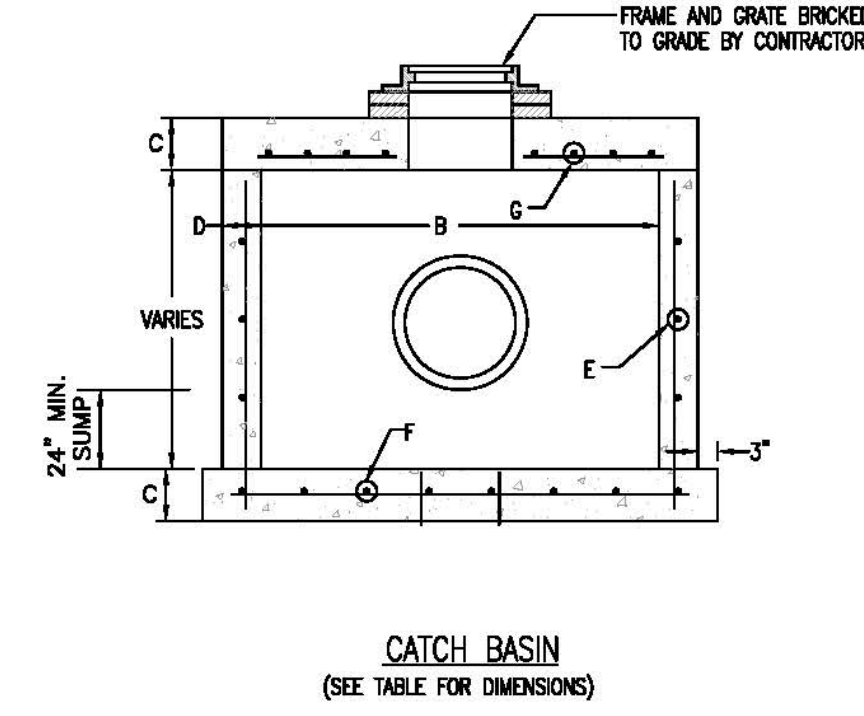
**INLET NOTES**

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".  
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.  
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS.  
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

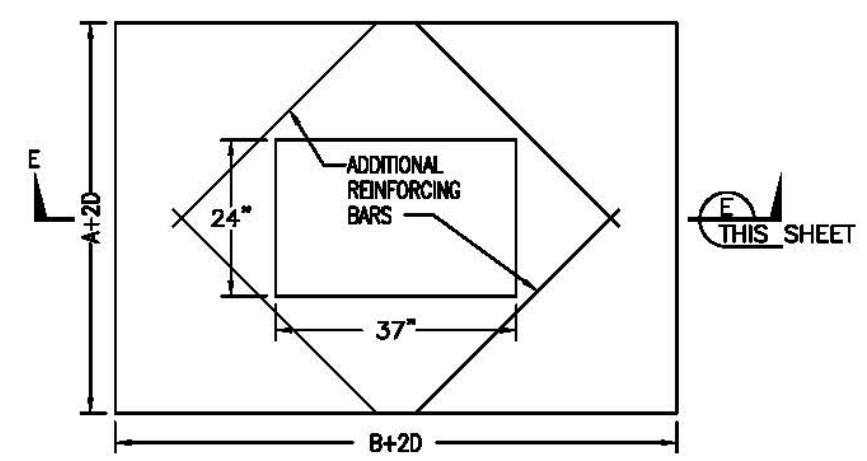
**CIRCULAR CATCH BASIN (ON-SITE)**



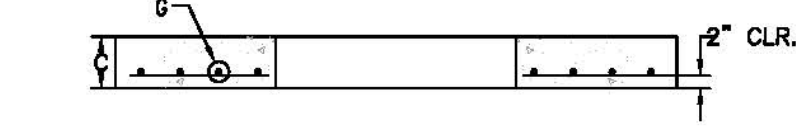
**ON-SITE INLET FRAME & GRATE**  
(TYPE "C-D" INLET)



**CATCH BASIN**  
(SEE TABLE FOR DIMENSIONS)



**TOP SLAB FOR CATCH BASIN**



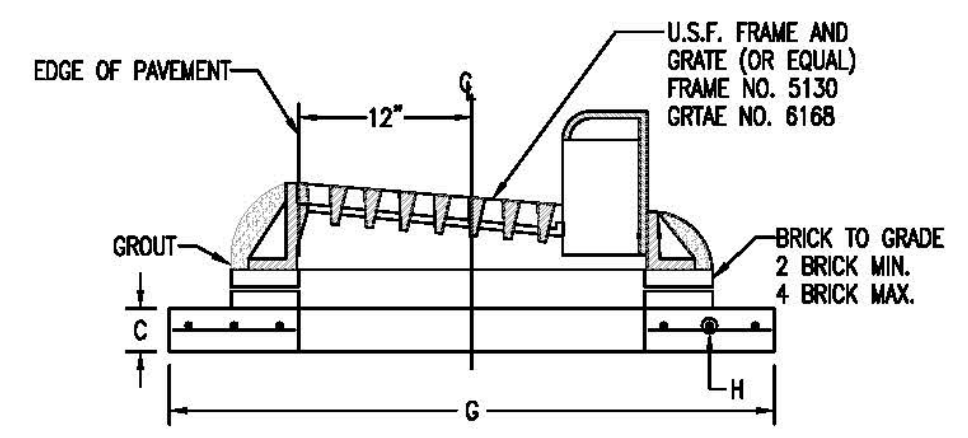
**SECTION E**  
(SEE TABLE FOR DIMENSIONS) THIS SHEET

A	B	C	D	E*	F*	G*
3'-6"	3'-6"	8"	8"	#4 @ 12"	#4 @ 8"	#4 @ 8"
4'-0"	4'-0"	8"	8"	#4 @ 12"	#4 @ 8"	#4 @ 8"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
6'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
6'-0"	8'-0"	10"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
10'-0"	10'-0"	10"	8"	#4 @ 12"	#5 @ 8"	#7 @ 8"
3'-0"	4'-6"	8"	8"	#4 @ 12"	#4 @ 12"	#4 @ 8"
3'-0"	6'-0"	8"	8"	#4 @ 12"	#4 @ 12"	#5 @ 8"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
3'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
5'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
6'-0"	7'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
6'-0"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"
6'-0"	12'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 8"

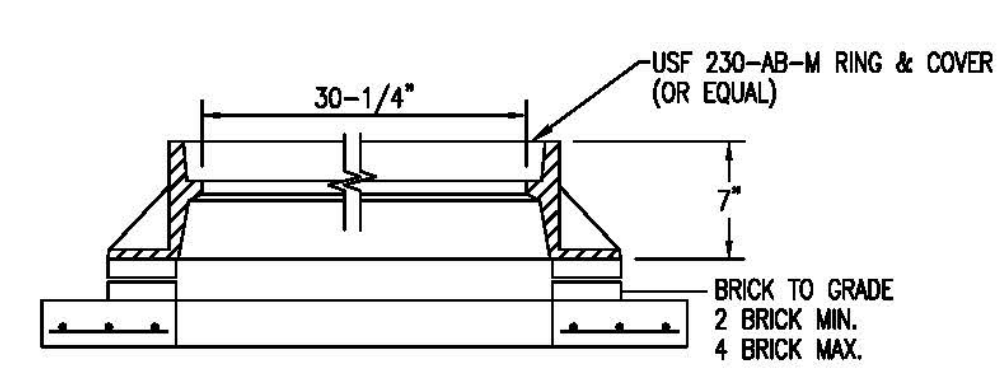
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MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

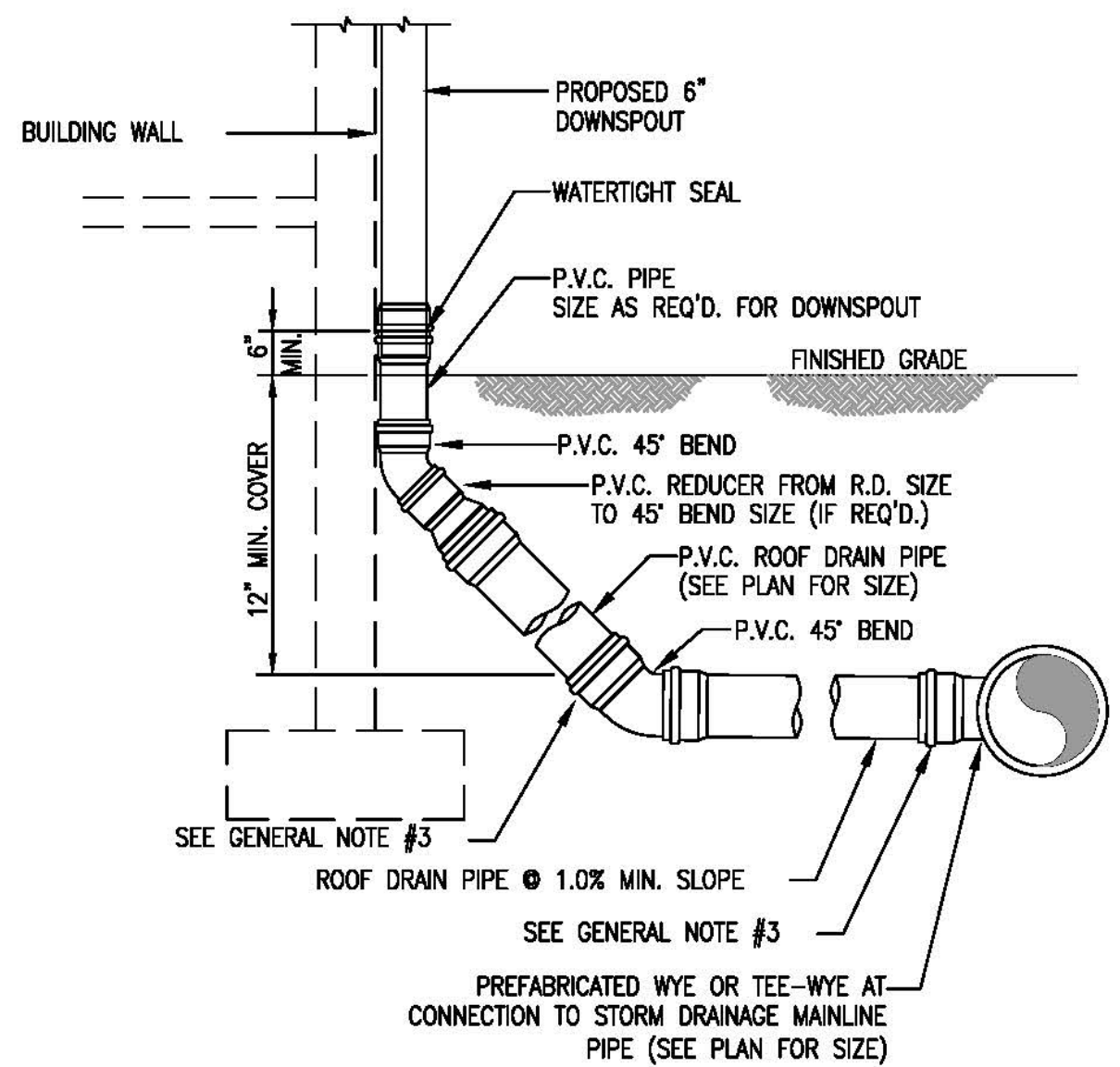
**RECTANGULAR CATCH BASIN (ON-SITE)**



**TYPE 'F' CURB & GUTTER TOP (TYPE 'C-F' INLET)**  
GRATE ELEVATION AS SHOWN ON PLANS = EDGE OF PAVEMENT ELEVATION

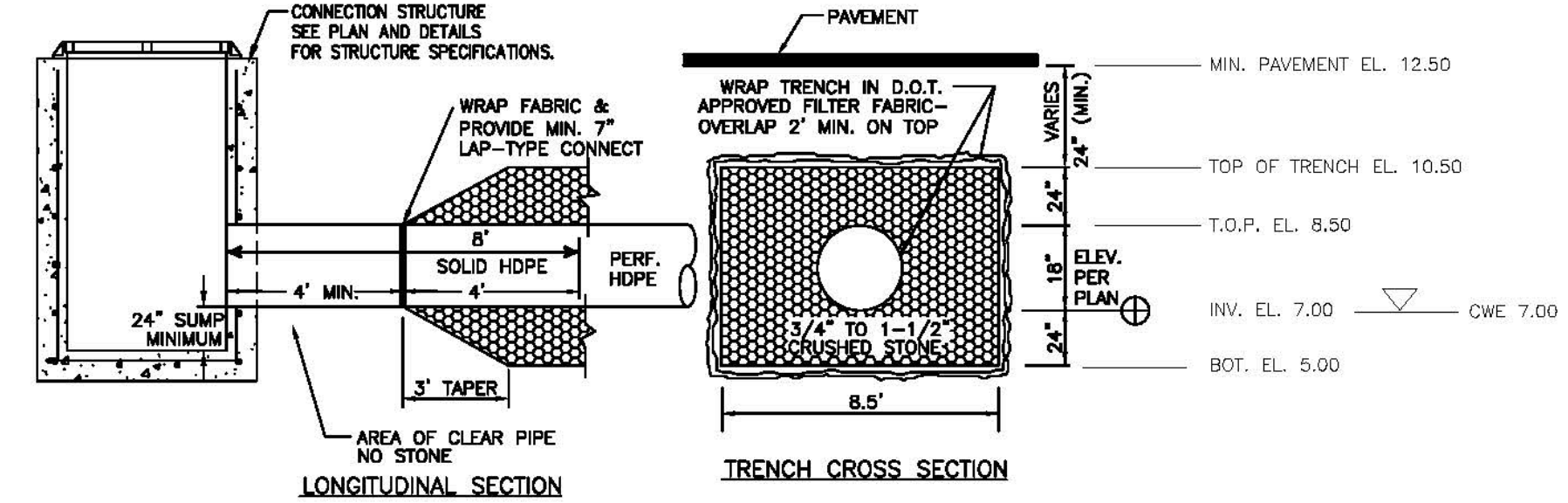


**ON-SITE MANHOLE FRAME & COVER**  
NTS



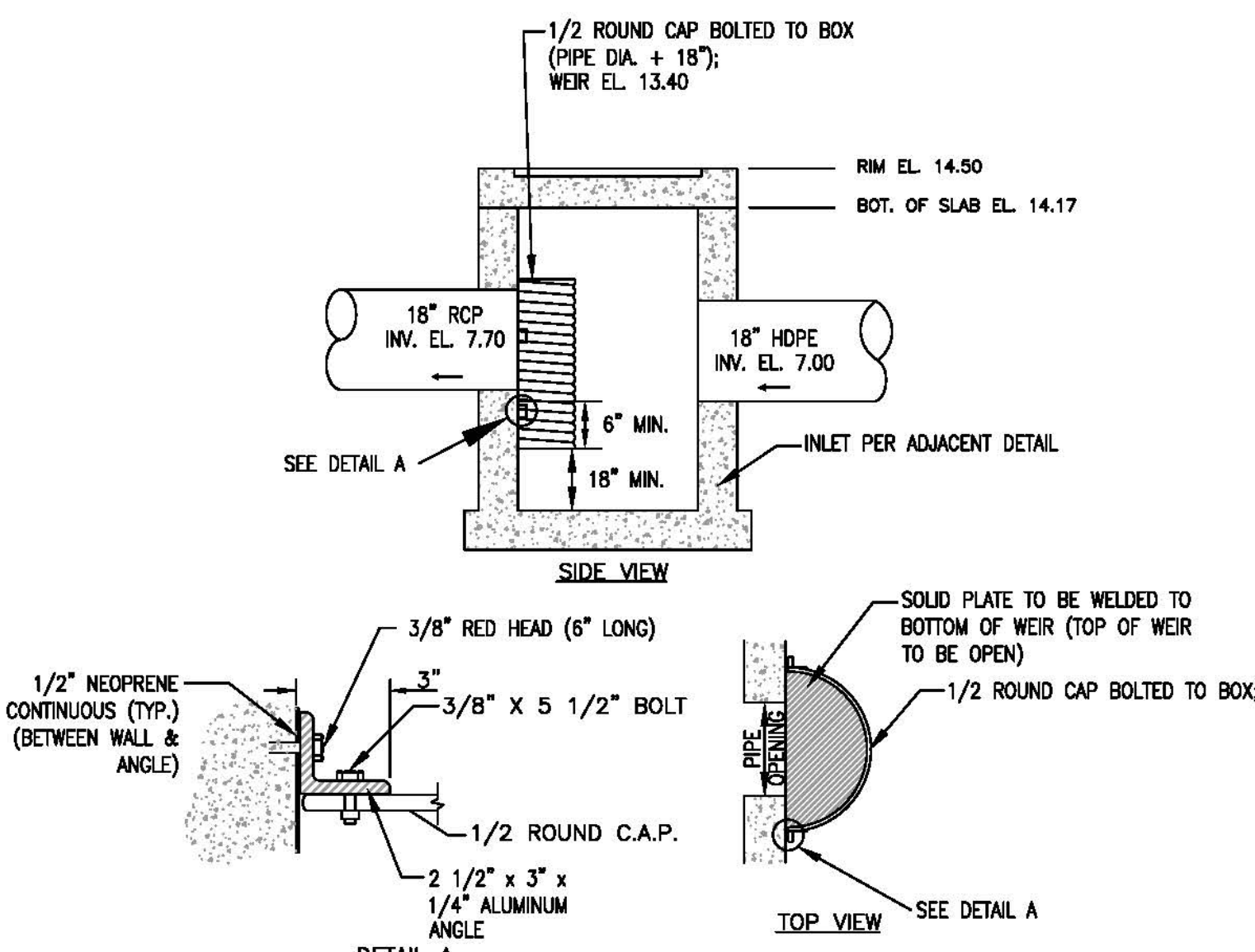
**DOWNSPOUT TIE-IN DETAIL**  
N.T.S.

- GENERAL NOTES:**
1. PROVIDE TEMPORARY P.V.C. PLUG IN BELL END OF DOWNSPOUT SERVICE STUB-UP.
  2. ADDITIONAL BENDS MAY BE REQUIRED TO CLEAR BUILDING FOUNDATIONS OR TO CONNECT TO MAIN TRUNK LINE STORM DRAINAGE PIPES.
  3. USE A FABRICATED P.V.C. TRANSITION ADAPTER TO TRANSITION FROM P.V.C. PIPE TO H.D.P.E. PIPE OR FITTINGS.
  4. ALL PIPE AND FITTING JOINTS SHALL BE WATERTIGHT.

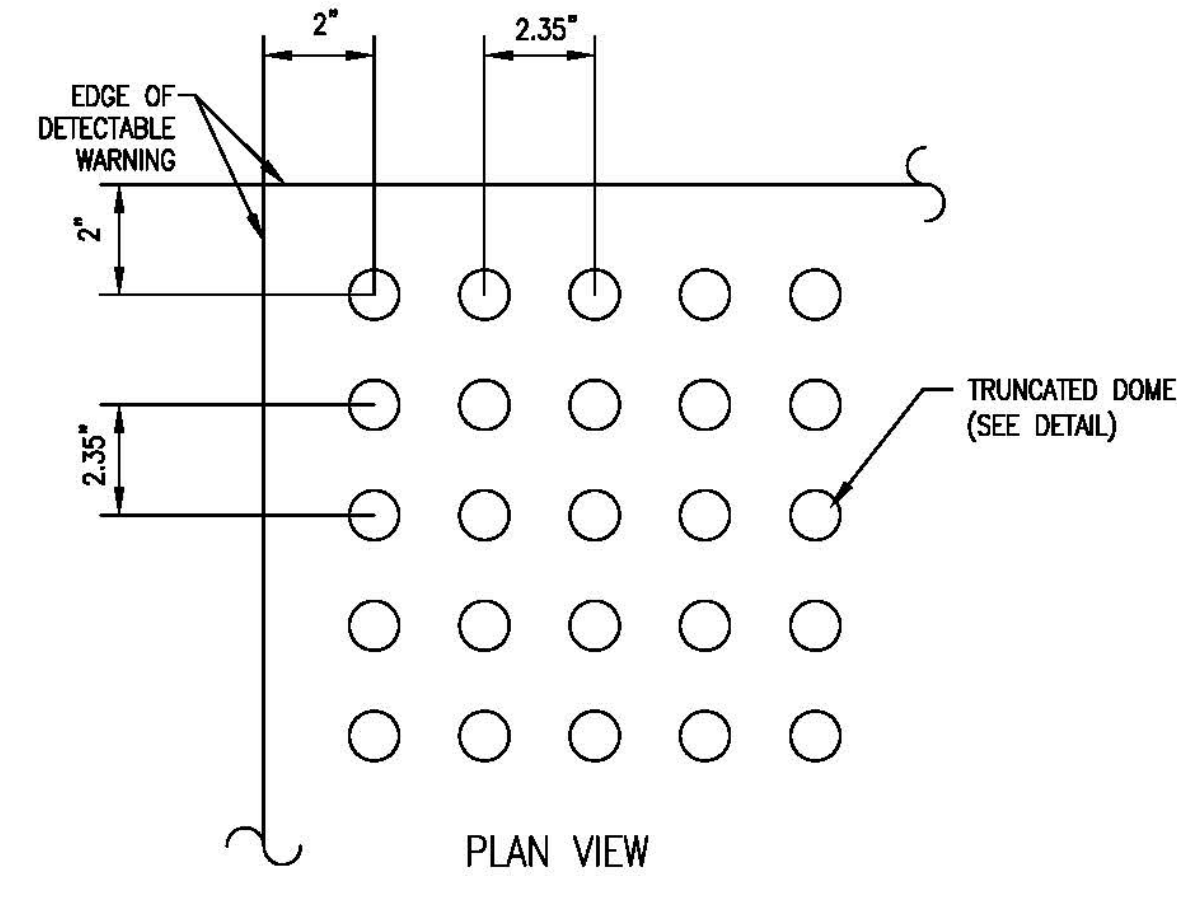


**ON-SITE EXFILTRATION TRENCH DETAIL**  
N.T.S.

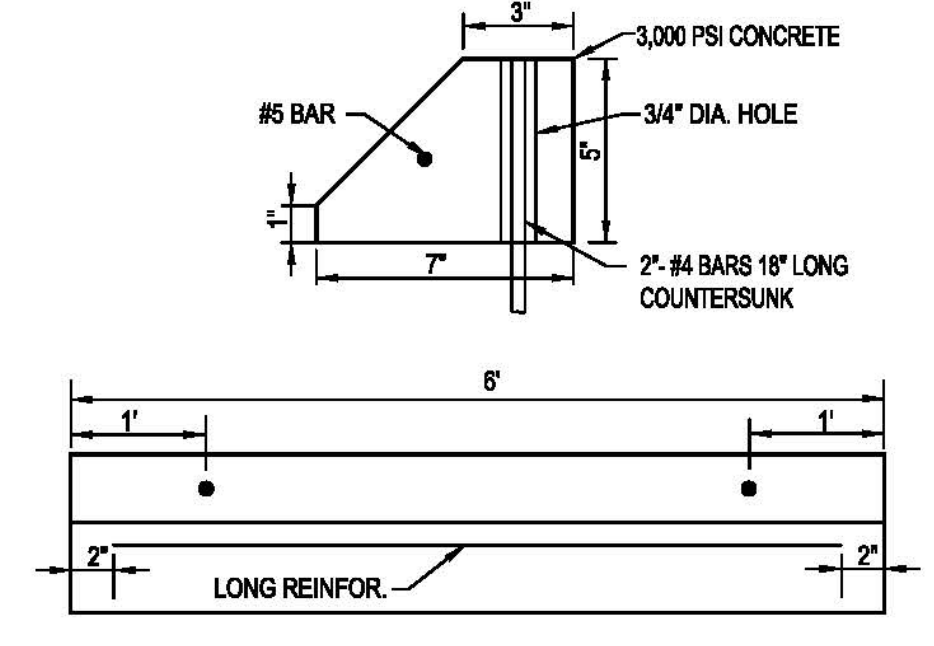
NOTES: COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 98% OF MAX. DRY DENSITY PER ASTM D-1557.



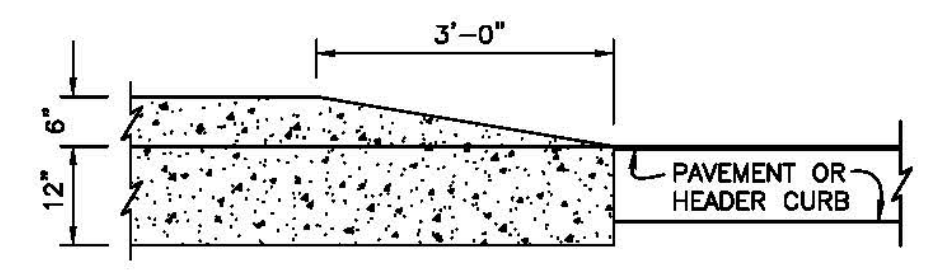
**DRAINAGE STRUCTURE WEIR BOX DETAIL**  
N.T.S.



**TYPICAL CURB RAMP DETECTABLE WARNING DETAIL**  
(COMPLY WITH FOOT INDEX 304 & FBC)  
N.T.S.

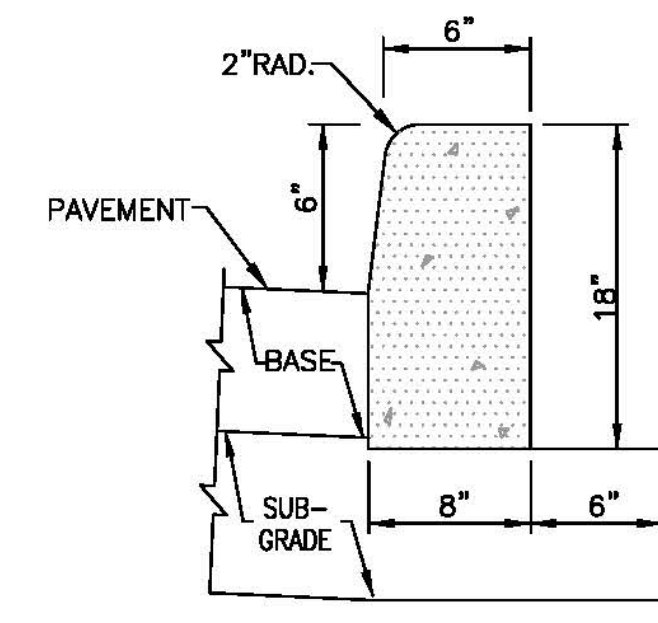


**CONCRETE WHEEL STOP DETAIL**  
N.T.S.

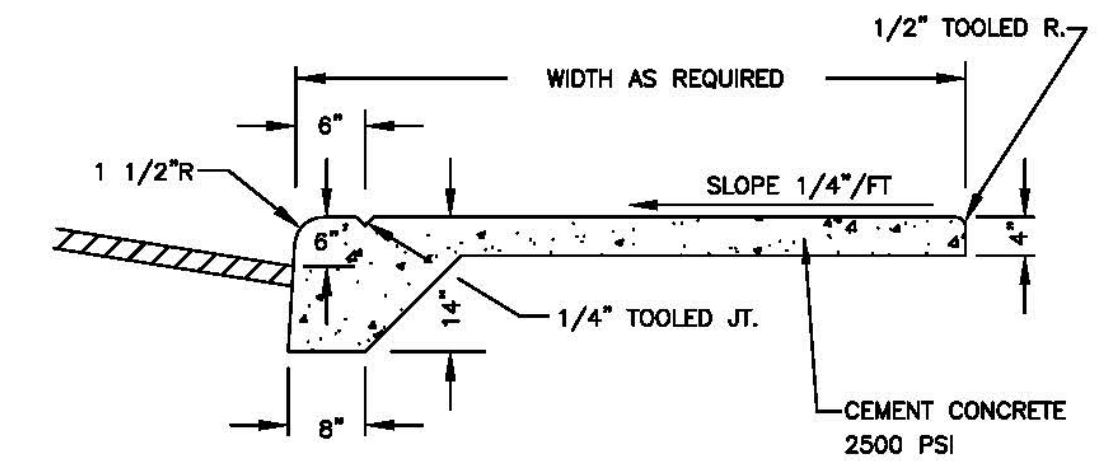


**TRANSITION CURB TAPER DETAIL**  
N.T.S.

NOTE: WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE TRANSITION MUST BE 12:1



**TYPE "D" CURB**  
N.T.S.



**MONOLITHIC CURB AND SIDEWALK SECTION**  
N.T.S.

- NOTES:**
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
  2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

TYPE	PAVEMENT SECTION REQUIREMENTS		
	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (4,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 30)
PERVIOUS CONCRETE (ON-SITE)	6" THICK PERVIOUS CONCRETE (4,000 PSI MIN.) PER ACI 522R	12" THICK AGGREGATE RESERVOIR LAYER COMPRISED OF NO. 57 STONE PROOF ROLLED TO OBTAIN REQ'D PWMT. THICKNESS	NON-WOVEN GEOTEXTILE FABRIC OVER 12" COMPACTED SUBGRADE COMPACTED TO 92% AASHTO T-180. COMPACTED SUBGRADE SHALL HAVE PERMEABILITY OF 1/2"/HR PER ASTM D 3385
SIDEWALKS	SIDEWALK: 4" THICK CONCRETE (3,000 PSI). CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED 5' ON CENTER. ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS BUILDING, EXISTING PAVEMENT, OR OTHER STRUCTURES.		



BUILDING #1 - WEST ELEVATION



BUILDING #1 - NORTH ELEVATION

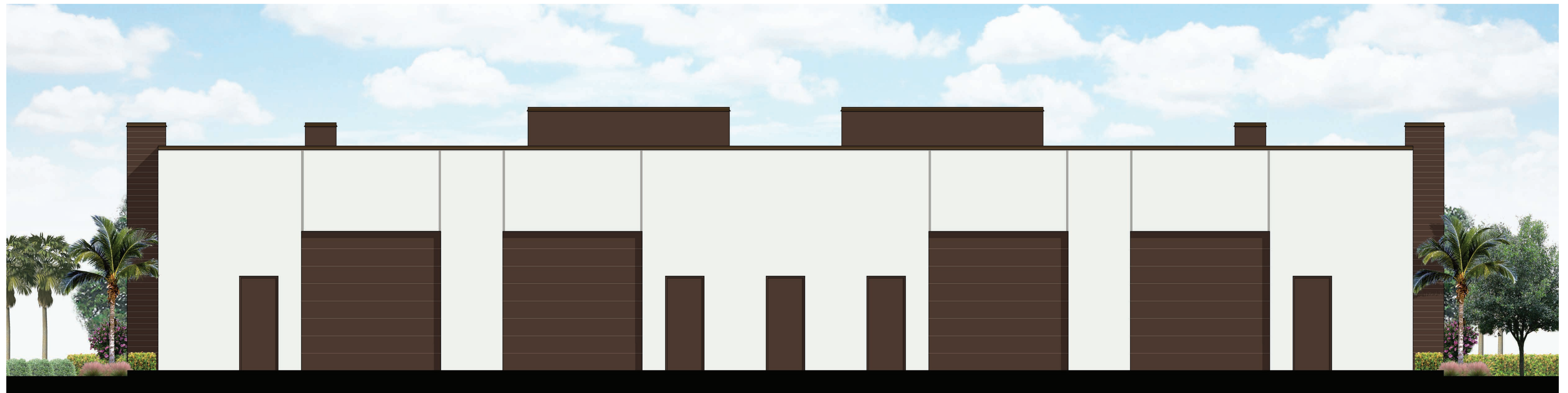
PALM BEACH RENDERINGS  
LAKE WORTH, FLORIDA

PADRON  
2D ARTISTIC RENDERING

KUOPPALA & ASSOCIATES  
WEST PALM BEACH, FLORIDA



BUILDING #1 - SOUTH ELEVATION



BUILDING #1 - EAST ELEVATION

PALM BEACH RENDERINGS  
LAKE WORTH, FLORIDA

PADRON  
2D ARTISTIC RENDERING

KUOPPALA & ASSOCIATES  
WEST PALM BEACH, FLORIDA



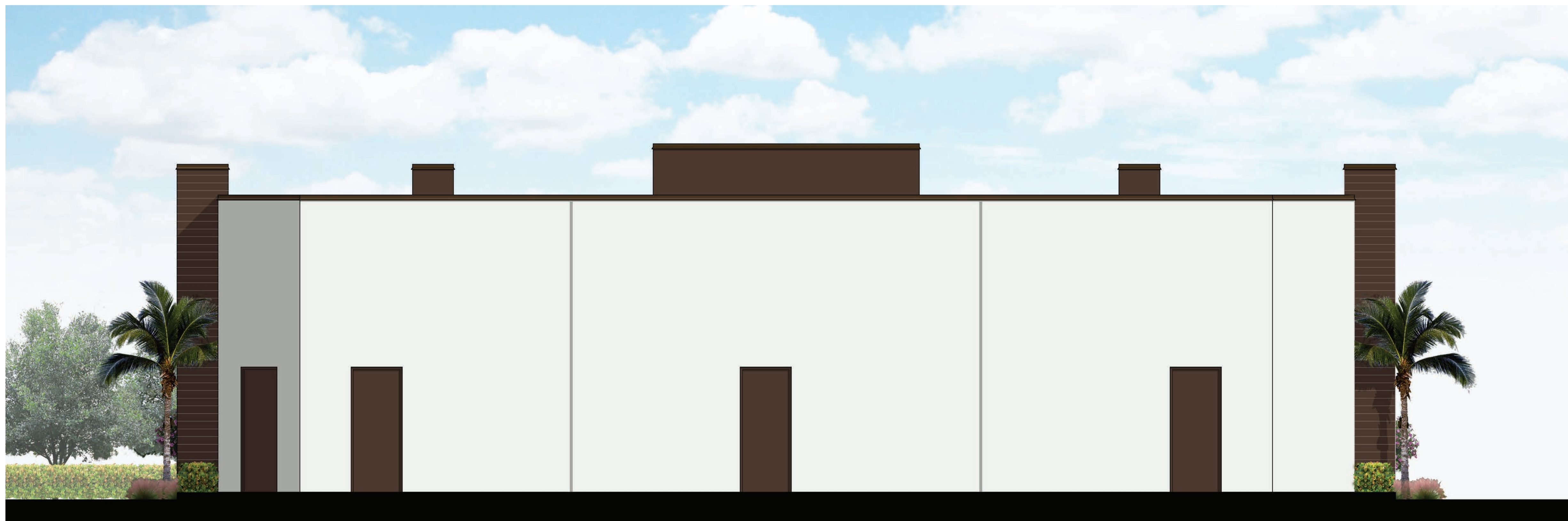
BUILDING #2 - WEST ELEVATION



BUILDING #2 - NORTH ELEVATION



BUILDING #2 - SOUTH ELEVATION



BUILDING #2 - EAST ELEVATION



BUILDING #3 - NORTH ELEVATION



BUILDING #3 - EAST ELEVATION



BUILDING #3 - WEST ELEVATION



BUILDING #3 - SOUTH ELEVATION

# **2202 LAKE WORTH RD, LLC TENANT SIGN CRITERIA**

## **PURPOSE OF CRITERIA**

The purpose of this criteria is to establish standards and specifications to assure that all signage and the project as a whole will be consistent and enhance the identity of all the retail tenants at 2202 Lake Worth Rd, LLC .

## **SUBMITTALS AND APPROVALS**

The tenant or a sign contractor shall submit for Landlord approval three (3) sets of complete and detailed shop drawings. All tenant submittals shall be reviewed by Landlord and/or its agent for conformance with the provision of the City approved signage program.

## **SIGNAGE**

Each tenant may have one (1) on-building sign. Landlord shall provide illuminated cabinet box above store frontage. Tenant is responsible for sign face vinyl and Landlord/City approved signage. If a new acrylic face is needed, the tenant is to provide this.

## **COLOR & FONT**

Vinyl color shall match building color. Oracal 8800 (translucent) Coffee Brown. Font specified is Futura Book. No full color digital signage is allowed on cabinet faces or window vinyl. Logos allowed in approved colors unless it is a National trademarked logo. Trademark shall be attached to shop drawings to be reviewed by Landlord/City.

## **WINDOW SIGNAGE**

Tenant shall be allowed to use 25% of each window with white vinyl and approved font. Vinyl shall be applied by a sign contractor.

## **MONUMENT - TENANT PANELS**

Design of tenant panel face for monument sign shall be consistent with cabinet signs, ie: color and font.

## **GENERAL SPECIFICATIONS AND REQUIREMENTS**

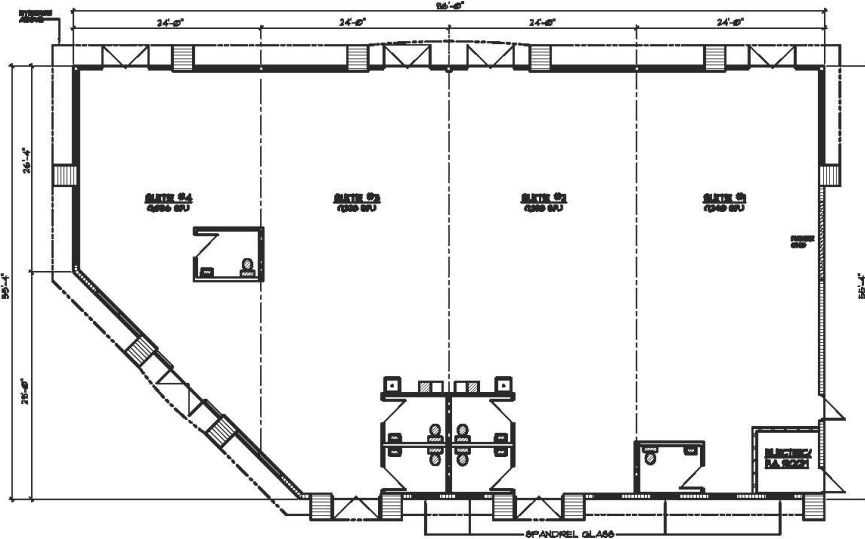
Extruded Aluminum Cabinet Boxes and all sign circuits are provided to sign locations by Landlord.

All local, state and national codes are to be strictly complied with. Fabrication and installation to be Underwriter Laboratory (UL) approved with required markings.

All building penetrations are to be sealed and completely waterproof.

Samples Attached.





**FLOOR PLAN - BUILDING #3**  
1/8" = 1'-0" FURNITURE / OFFICES



**NOTES:**  
1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW

**BUILDING TENANT WALL SIGN CALCULATIONS**

1.) Building #3: Frontage = 1 S.F. Per Lineal Foot

- A) Signs #1 - 4: Frontage = 24' - 0" (facing parking lot)  
Maximum Area = 24 S.F.  
Actual Area = 24 S.F.  
Length = 10.00 Feet  
Height = 2.00 Feet
- B) Signs #5 - 8: Facing Lake Worth Road  
Actual Area = 24 S.F.  
Length = 12.00 Feet  
Height = 2.00 Feet



**COLOR SELECTIONS:**

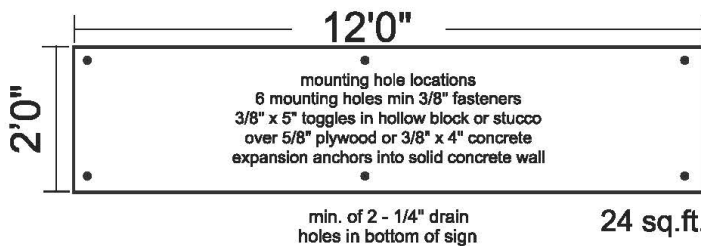
- COLOR #1 - SHERWIN WILLIAMS #7006 - EXTRA WHITE
- COLOR #2 - SHERWIN WILLIAMS #6076 - TURKISH COFFEE
- COLOR #3 - SHERWIN WILLIAMS #7653 - SILVER POINTE
- STOREFRONT FRAMES AND DOORS - MILL FINISH
- HOLLOW METAL - COLOR #2
- GLASS - BRONZE TINT AND / OR CLEAR



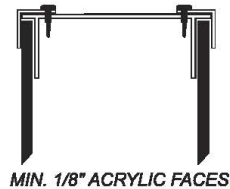
**NORTH ELEVATION - BUILDING #3**  
1/8" = 1'-0"



BUILDING #3 - NORTH ELEVATION



**RETAINER DETAILS**  
#12 x 1-1/2" S.S. Screws  
Min. 3'0" On Centers





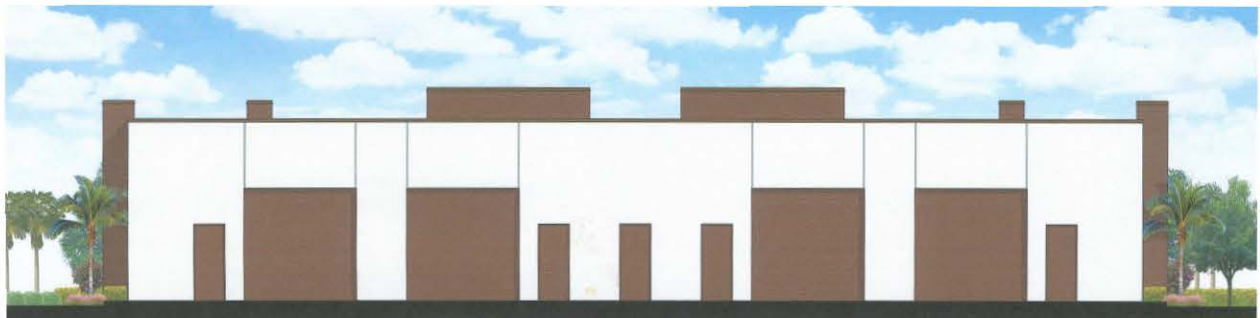
BUILDING #1 - NORTH ELEVATION



BUILDING #1 - SOUTH ELEVATION



BUILDING #1 - WEST ELEVATION



BUILDING #1 - EAST ELEVATION



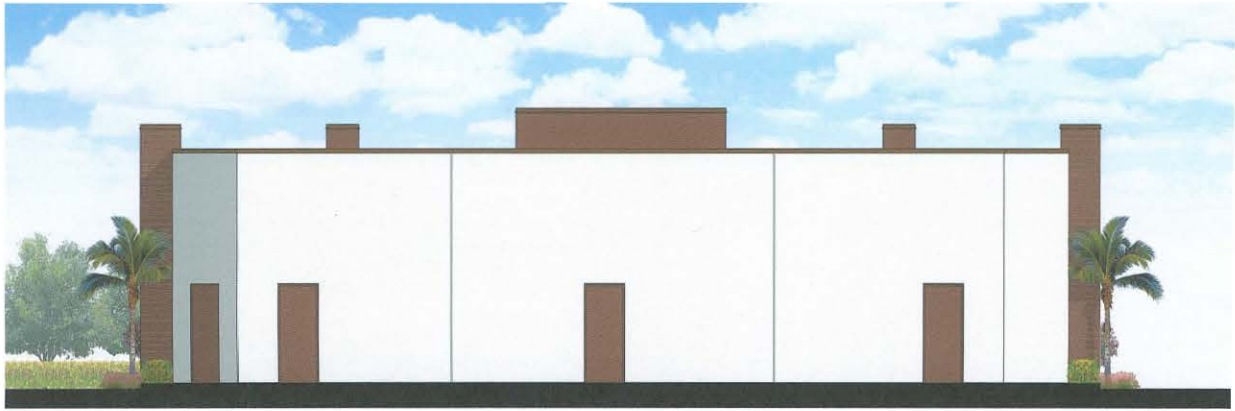
BUILDING #2 - WEST ELEVATION



BUILDING #2 - NORTH ELEVATION



BUILDING #2 - SOUTH ELEVATION



BUILDING #2 - EAST ELEVATION



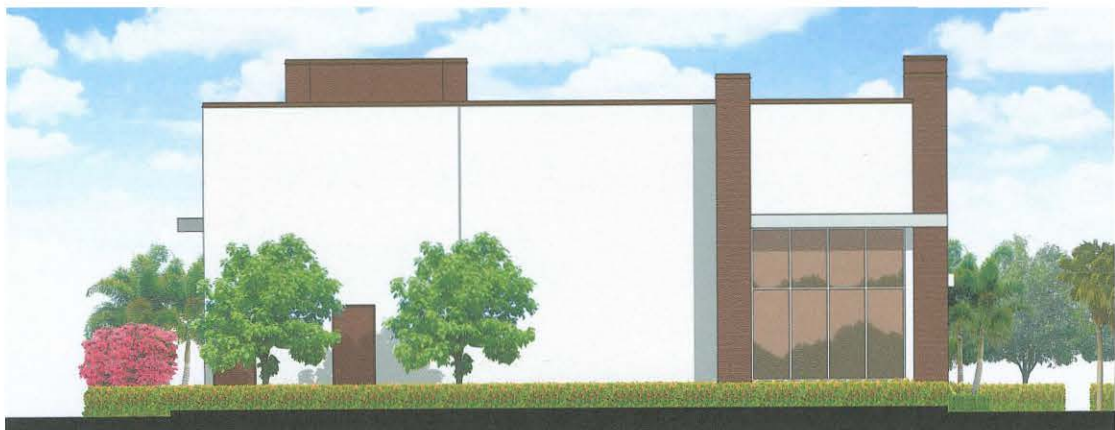
BUILDING #3 - NORTH ELEVATION



BUILDING #3 - SOUTH ELEVATION



BUILDING #3 - WEST ELEVATION

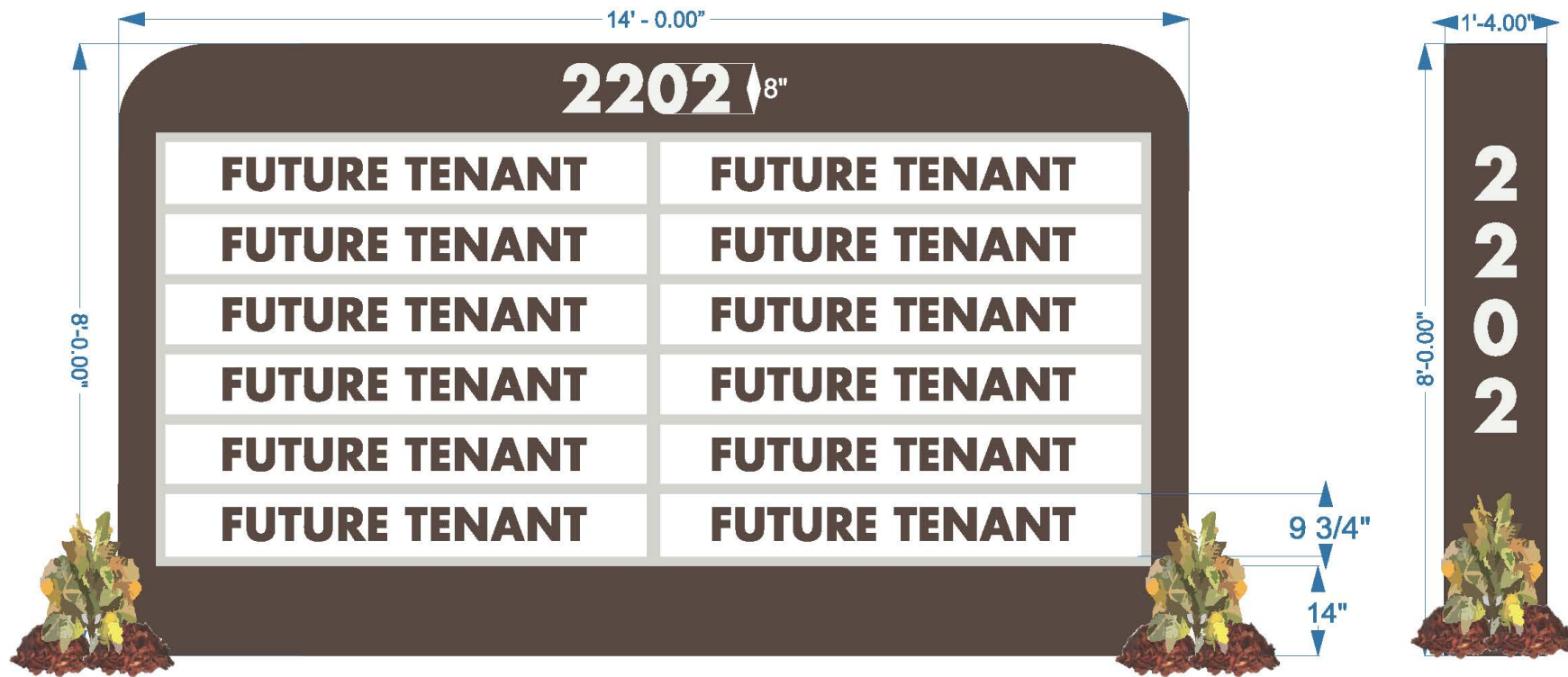


BUILDING #3 - EAST ELEVATION

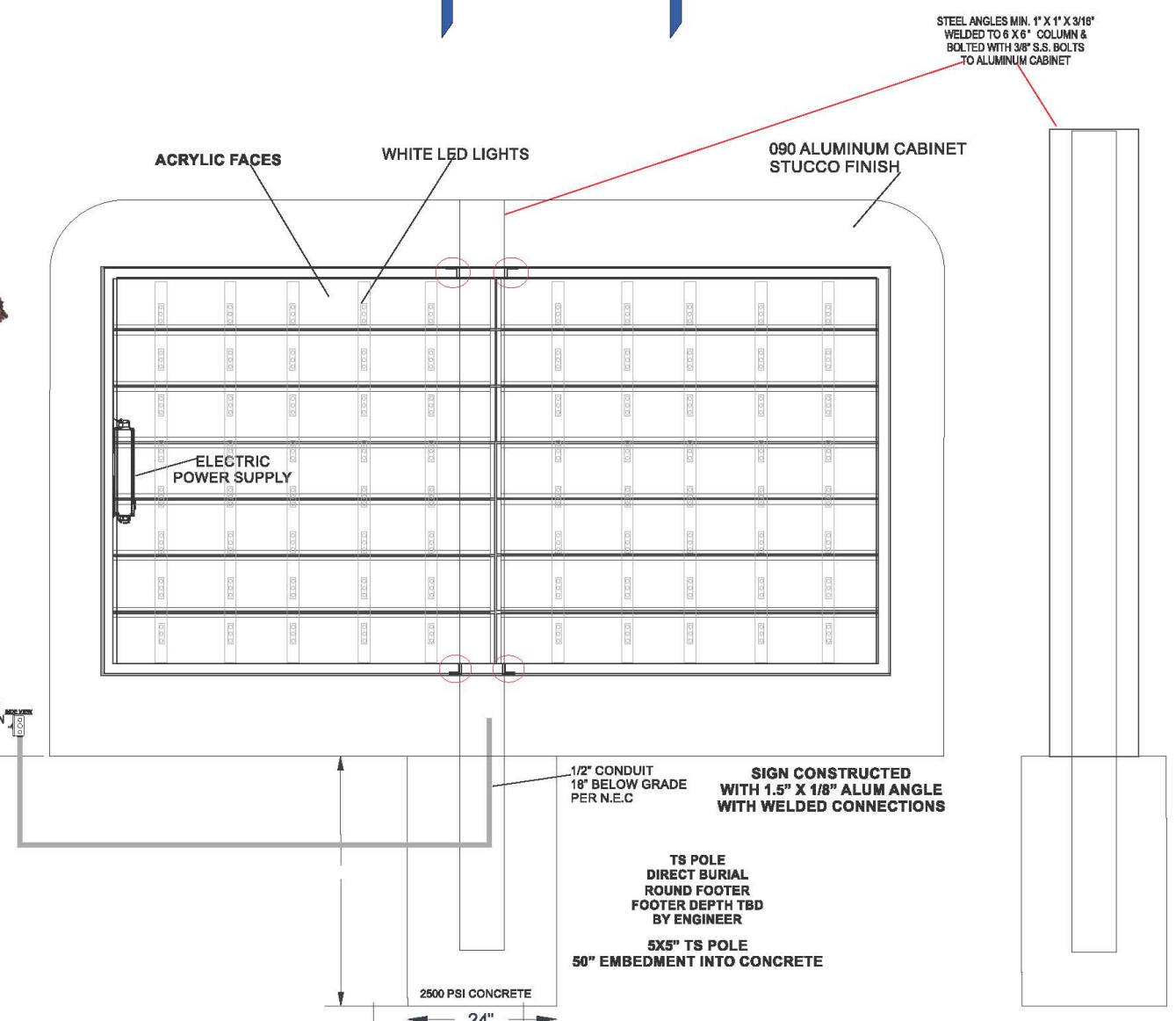
**MONUMENT SIGN**

112' proposed

**West Elevation**



**RETAINER DETAILS**



DOUBLE SIDED MONUMENT SIGN WITH ACRYLIC FACES WITH VINYL COPY(TENANTS) TENANT PANELS ARE 9.75" EACH ADDRESS 8" PROPOSED MONUMENT INSTALL LANDSCAPING ON EITHER SIDE OF SIGN BASE-TO BE DONE BY OTHERS



**SOIL STATEMENT**  
Visual inspection indicates 2,500 P.S.F. for which footings are designed. If a bearing capacity of less than 2,500 P.S.F. is encountered at site, the engineer should be notified before proceeding with work.

**ELECTRICAL NOTES ILLUMINATED CABINETS**  
Primary wire size - #12 THWN  
Disconnect switch - at base of sign, 20 amp single pole, timeclock at panel room and a 10hr battery backup  
Maximum load - 16 amps 120 volts per circuit maximum circuit size 20 amps per NEC 600-6A  
Power Supply - 120/225 Volt to 12 Volt DC output : 60 watts  
Illumination - T-12 Tap Out Stik brand LED - 15.84 watts per strip -10" spacing  
Conduit - minimum 1/2"  
Total sign load - 2 amps 120 volts  
Total sign circuits - 1  
All components shall be U.L. approved  
Ballasts shall have independent U.L. approval (fused where required)  
All installations shall be in compliance with N.E.C. and state, county, or local codes  
All signs shall be bonded to building equipment bonding conductor per N.E.C. 250

ES0000229

**1740 HILL AVENUE  
WEST PALM BEACH, FL.  
33407  
561-840-6382  
(FAX) 561-840-6385**

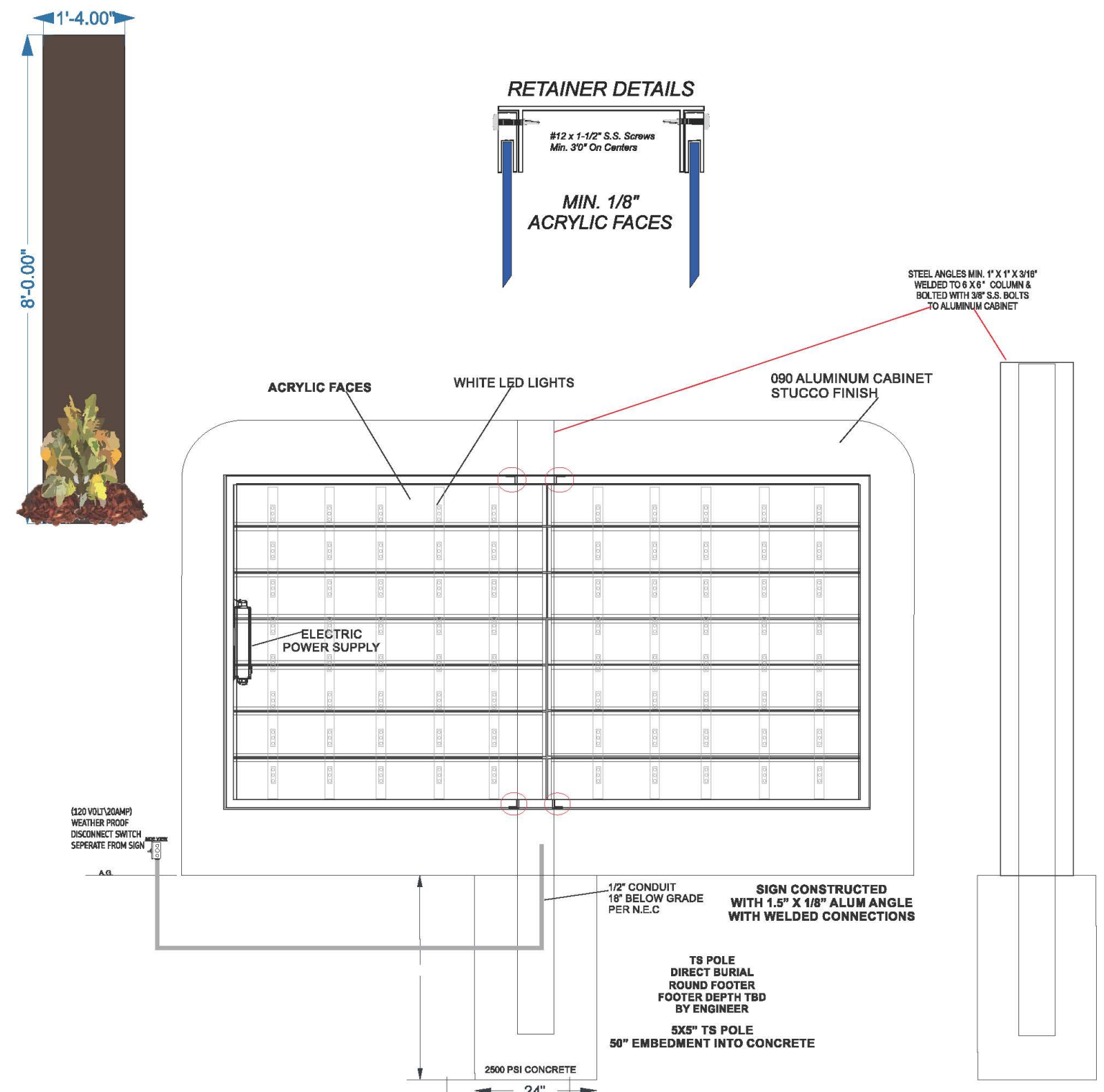
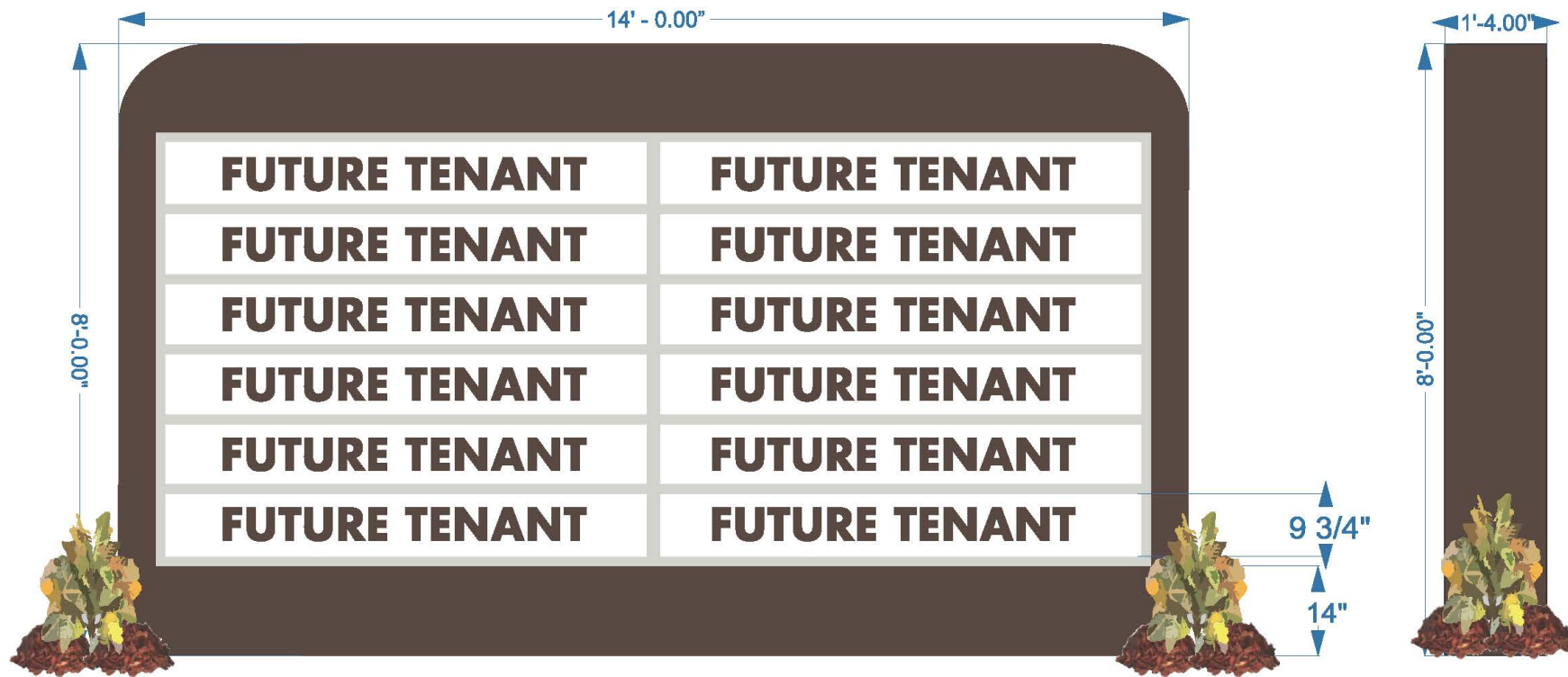
**CUSTOMER:**

**DRAWN BY: PAM REEVES  
DATE: 10.09.19**

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**ALL ELECTRICAL TO BE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS**

**MONUMENT SIGN 112' proposed**

**East Elevation**



DOUBLE SIDED MONUMENT SIGN WITH ACRYLIC FACES WITH VINYL COPY(TENANTS) TENANT PANELS ARE 9.75" EACH ADDRESS 8" PROPOSED MONUMENT INSTALL LANDSCAPING ON EITHER SIDE OF SIGN BASE-TO BE DONE BY OTHERS



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H. Burton Smith, P.E.  
Consulting Engineers

**Traffic Impact Study**  
2202 LAKE WORTH ROAD  
COMMERCIAL AND OFFICE/WAREHOUSE

Lake Worth Road and Boutwell Road

July 2019

825 Whippoorwill Trail, West Palm Beach, Florida 33411  
Cell Phone (561) 310-4578  
Email - burp@aol.com



# TABLE OF CONTENTS

Introduction and Purpose.....	1
Location Map.....	2
Traffic Generation Rates.....	3
Peak Hour Traffic Distribution.....	4 - 5
TPS Review.....	6
AM/PM Peak Hour Traffic.....	7
Conclusion.....	8



Introduction

This is intended to be the site of a proposed Commercial and Office/Warehouse facility located on the north east corner of Lake Worth Road and Boutwell Road, The site will have two entrance exits onto Boutwell Road. This site is located in Lake Worth Beach.

Proposed site plan for this site identifies the following planning data:

- Building 1 - Office/Warehouse .....6264 sf  
1566 sf office/4698 sf Warehouse
  
- Building 2 - Commercial/Retail.....5312 sf  
5312 sf Commercial/Retail
  
- Building 3 - Commercial/Retail.....4892 sf..  
4892 sf Commercial/Retail

TOTALS:

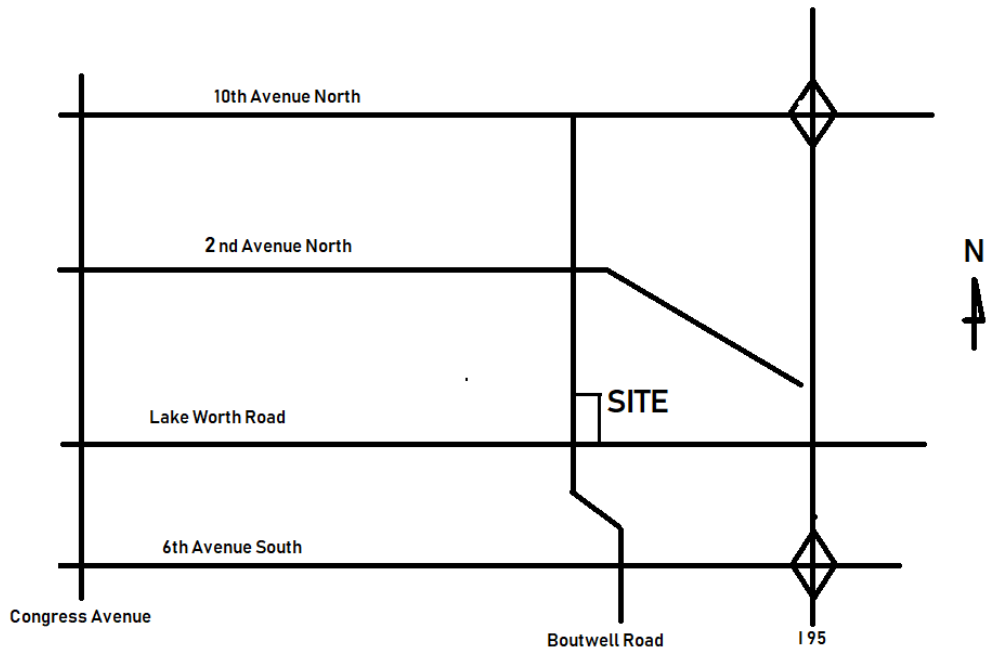
1566 sf office/4698 sf Warehouse  
10204 sf Commercial

General Planning Data:

- Property Control Number ..... 38434420011170020
- Size .....1.8 acres
- Address.....2022 Lake Worth Road
- Municipality ..... Lake Worth Beach

Purpose

The purpose of this study is to review daily and peak hour traffic from the site. Traffic from the AM peak hour and the PM peak hour will then be reviewed for compliance with Palm Beach County's Traffic Performance Standards.



LOCATION MAP

Proposed Daily Traffic Generation

Land use	Intensity/Gross Trips	Generation Rates	Passby	Net External Trips
Office	1566 square feet 25 gross trips/day	ITE Code 712 16.19 t/1000 sf	-10%	23 t/d
Warehouse	4698 square feet 8 gross t/day	ITE Code 150 1.74 t/1000 sf	- 10%	7 t/d
Commercial	10204 square feet 1273 gross t/day	ITE Code 820 $\text{Ln}(T) = .68 \text{Ln}(X) + 5.57$	-62%	489 t/d
Totals	16468 sq ft 1306 gross trips/day			519 t/d

Proposed AM Peak Hour Traffic

Land use	Intensity/Gross Trips	Generation Rates	Passby	Net External Trips
Office	1566 square feet 3 gross t/hr 83% in/ 18% out 2 in/ 1 out	ITE Code 712 1.92 t/1000 sf	-10%	3 t/hr 2 in/ 1 out
Warehouse	4698 square feet 1 gross t/hr 77% in/23% out 1 in/ 0 out	ITE Code 150 0.17 t/1000 sf	- 10%	1 t/hr 1 in/ 0 out
Commercial	10204 square feet 10 gross t/hr 62% in/38% out 6 in/ 4 out	ITE Code 820 .94 t/1000 sf	-62%	4 t/hr 2 in/ 2 out
Totals	16468 sq ft 14 gross t/hr 9 in/ 5 out			8 t/hr 5 in/ 3 out

Proposed PM Peak Hour Traffic

Land use	Intensity/Gross Trips	Generation Rates	Passby trips	Net External Trips
Office	1566 square feet 4 gross t/hr 32% in/ 68% out 1 in/ 3 out	ITE Code 712 2.45 t/1000 sf	-10%	3 t/hr 1 in/ 2 out
Warehouse	4698 square feet 1 gross t/hr 27% in/ 73% out 0 in/ 1 out	ITE Code 150 0.19 t/1000 sf	- 10%	1 t/hr 0 in/ 1 out
Commercial	10204 square feet 100 gross t/hr 48% in/ 52% out 48 in/ 52 out	ITE Code 820 $\text{Ln}(T) = .74 \text{Ln}(X) + 2.89$	-62%	38 t/hr 18 in/20 out
Totals	16468 sq ft 105 gross t/hr 49 in/ 56 out			42 t/h 19 in/ 23 out

East/west AM Roads - peak hour traffic distribution

Road laneage/% project dist.	Link/LOS Capacity	Project traffic
Lake Worth Road 4 lane/42%	Boutwell Road to A Street 1770 t/hr	Eastbound - 1* Westbound - 2*
Lake Worth Road 2 lane/42%	Boutwell Road to Congress 1770 t/hr	Eastbound- 2* Westbound - 1*
2nd Ave North 2 lane/5%	Boutwell Road to Congress 880 t/hr	Eastbound - 1* Westbound - 1*

North/south Roads AM - peak hour traffic distribution

Road laneage/% project dist.	Link/LOS Capacity	Project traffic
Boutwell Road 2 lane/ 15%	Lake Worth Road to 10th Av N 880 t/hr	Northbound - 1* Southbound - 1*
Boutwell Road 2 lane/1%	Lake Worth Road to 12th Av N Non thoroughfare plan road	Northbound- 1* Southbound - 1*
Congress Ave 6 lane/5%	Lake Worth Road to 2nd Av N 2940 t/hr	Eastbound - 1* Westbound - 1*
Congress Ave 6 lane/5%	Lake Worth Road to 6th Av S 2940 t/hr	Eastbound - 1* Westbound - 1*

East/west Roads PM peak hour traffic distribution

Road laneage/% project dist.	Link/LOS Capacity	Project traffic
Lake Worth Road 4 lane/42%	Boutwell Road to A Street 1770 t/hr	Eastbound - 10* Westbound - 8*
Lake Worth Road 2 lane/42%	Boutwell Road to Congress 1770 t/hr	Eastbound- 8* Westbound - 10*
2nd Ave North 2 lane/ 1%	Boutwell Road to Congress 880 t/hr	Northbound - 1* Southbound - 1*

North/south Roads PM peak hour traffic distribution

Road laneage/% project dist.	Link/LOS Capacity	Project traffic
Boutwell Road 2 lane/ 15%	Lake Worth Road to 10th Av N 880 t/hr	Northbound - 3* Southbound - 3*
Boutwell Road 2 lane/1%	Lake Worth Road to 12th Av S Non thoroughfare plan road	Northbound- 1* Southbound - 1*
Congress Ave 6 lane/1%	Lake Worth Road to 2nd Av N 2940 t/hr	Eastbound - 1* Westbound - 1*
Congress Ave 6 lane/1%	Lake Worth Road to 6th Av S 2940 t/hr	Eastbound - 1* Westbound - 1*

\* less than 1%

Table 12.B.2.D-7.3A – Radius of Development Influence

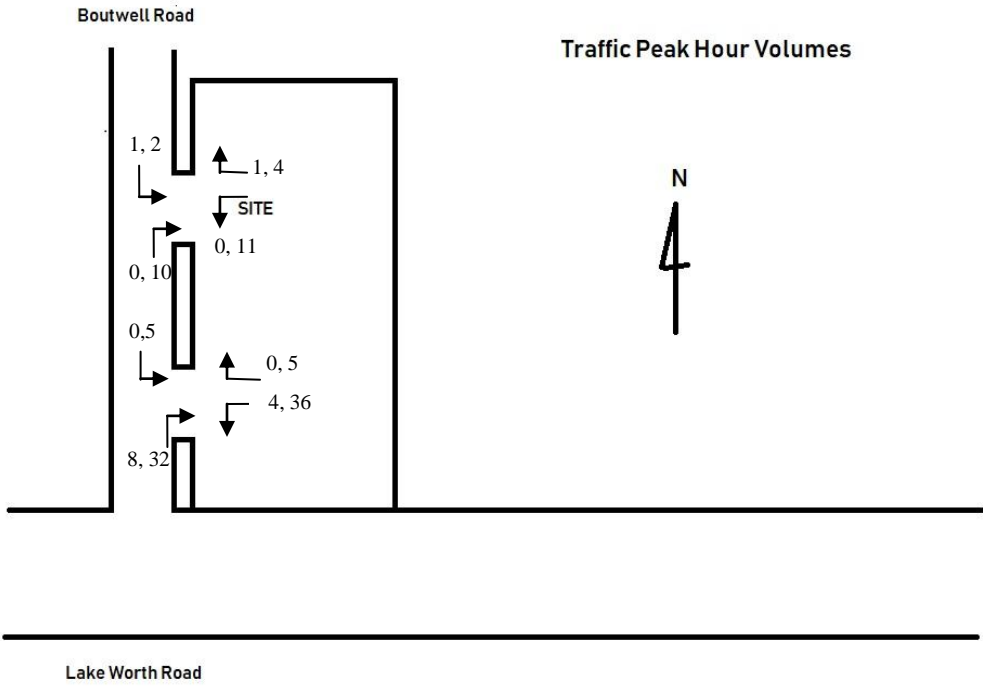
Net External Peak Hour		Two-Way Trip Generation	Radius
1	thru	20	Directly accessed link(s)
21	thru	50	0.5 miles
51	thru	100	1 mile
101	thru	500	2 miles
501	thru	1,000	3 miles
1,001	thru	2,000	4 miles
2,001	and	Up	5 miles

[Ord. 2005-002] [Ord. 2006-043] [Ord. 2007-013] [Ord. 2010-022]

Radius of Development influence is 1/2 mile.

### TPS Review

Net traffic for the proposed use during the AM peak hour is 5 v/hr for entering traffic and 3 v/hr for exiting traffic. Net traffic for the proposed use during the PM peak hour is 19 v/hr for entering traffic and 23 v/hr for exiting traffic. Both the AM traffic and PM traffic shows project impact of less than 1% of the level of service volume for the surrounding roadways.



### Site Related improvements

The intersection of Boutwell Road and Lake Worth Road is controlled by an existing traffic signal.

The north approach of this intersection has an existing 285 foot left turn lane and a existing 285 foot right turn lane.

The south approach of this intersection has an existing 240 foot left turn lane.

The east approach of this intersection has an existing 250 foot left turn lane.

The west approach of this intersection has an existing 240 foot left turn lane.

A review of the total am and pm peak hour volumes from the site are identified as 14 net AM peak hour trips and 105 net PM peak hour trips. As turning movements are relatively low, no additional turn lanes or improvements are recommended.

### Conclusion

Net traffic for the proposed use during the AM peak hour is 5 v/hr for entering traffic and 3 v/hr for exiting traffic. Net traffic for the proposed use during the PM peak hour is 19 v/hr for entering traffic and 23 v/hr for exiting traffic. Both the AM traffic and PM traffic shows project impact of less than 1% of the level of service volume for the surrounding roadways.

A review of the gross AM peak hour volumes from the site are identified as 9 AM entering peak hour trips and 5 exiting PM peak hour trips. A review of the gross PM entering peak hour volumes from the site is identified as 49 PM peak hour trips and 56 exiting PM peak hour trips. As turning movements are relatively low, no additional turn lanes or improvements are recommended.



PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS  
FOR  
**2202 LAKE WORTH ROAD, LLC**

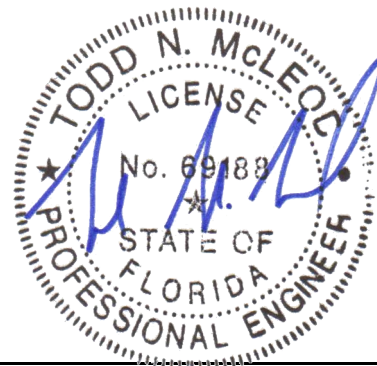
LAKE WORTH, FL  
MMA #19-046

July 15, 2019  
Revised:  
N/A

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**McLEOD • McCARTHY**  
**& Associates, P.A.**  
CIVIL ENGINEERS



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TODD N. MCLEOD, P.E.

Florida License No. 69188

7/15/19

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Date

**PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS**

Project Name: 2202 LAKE WORTH ROAD, LLC  
 Project #: MMA #19-046

Engineer: TNM  
 Date: 06/27/19  
 Revised: N/A

**LAND USE BREAKDOWN**

**PROPOSED**

Site Area = **1.74 ac**  
 Basin Area = 1.74 ac

	Acres	%	Grading	
			From	To
<b>Impervious Area</b>				
Building	0.38 ac	(22%)	14.50	
Pavement	0.90 ac	(52%)	12.50	14.50
<b>Pervious Area</b>				
Green Space	0.46 ac	(26%)	12.00	14.30
<b>Subtotal Impervious Areas</b>	1.28 ac	(74%)		
<b>Subtotal Pervious Areas</b>	0.46 ac	(26%)		

**Find Curve Number:**

Avg. Pervious Ground El. = 13.15  
 Control EL. = **7.00** (8.5 NGVD; LWDD E-4 CANAL)  
 Depth to Water Table = **6.15**  
 Soil Type = Flatwoods

**Soil Storage Table**

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 0.46 ac  
 Storage from Table = **6.75 in** (w/ 25% compaction)  
 Avail Soil Storage = 0.26 af  
 Soil Moisture Storage (S) = **1.78 in**  
 Curve Number = **85**

**PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS**

Project Name: <u>2202 LAKE WORTH ROAD, LI</u>	Engineer: <u>TNM</u>
Project #: <u>MMA #19-046</u>	Date: <u>06/27/19</u>
	Revised: <u>N/A</u>

**STAGE -STORAGE CALCULATIONS**  
**PROPOSED**

Starting Stage	<b>7.00</b>
Ending Stage	<b>15.00</b>
Stage Increment	<b>1.00</b>

Name	Pavement	Green Space	Trench	
Area	0.90	0.46	0.71 (AF)	
Start Elev	12.50	12.00	<b>7.00</b>	
End Elev	14.50	14.30	<b>10.50</b>	
Stage	Linear	Linear	Linear	Total
Feet	Storage	Storage	Storage	Storage
NAVD	Ac-ft	Ac-ft	Ac-ft	Ac-ft
7.00	0.00	0.00	0.00	0.00
8.00	0.00	0.00	0.20	0.20
9.00	0.00	0.00	0.40	0.40
10.00	0.00	0.00	0.61	0.61
11.00	0.00	0.00	0.71	0.71
12.00	0.00	0.00	0.71	0.71
13.00	0.06	0.10	0.71	0.86
14.00	0.51	0.40	0.71	1.61
15.00	1.41	0.86	0.71	2.97

**PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS**

Project Name: 2202 LAKE WORTH ROAD, LLC

Project #: MMA #19-046

Engineer: TNM

Date: 06/27/19

Revised: N/A

**POST-DEVELOPMENT RUNOFF (ZERO DISCHARGE CALCULATIONS)**

Soil Moisture Storage ( $S_{exists}$ )	6.75 in
Soil Moisture Storage ( $S_{prop}$ )	1.78 in

5 Year, 1 Day Rainfall Amount (P):	6.5 in	Figure C-3
25 Year, 3 Day Rainfall Amount (P):	12.5 in	Figure C-8
100 Year, 3 Day Rainfall Amount (P):	15.5 in	Figure C-9

**MIN PARKING LOT: 5-YEAR, 1-DAY RUNOFF CALCULATIONS (PER SFWMD):**

**Proposed:**

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 4.8 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1'12''$$

$$= 4.8 \text{ in} \times 1.74 \times 1'12'' = 0.69 \text{ AF}$$

**ALLOWABLE DISCHARGE: 25-YEAR, 3-DAY RUNOFF CALCULATIONS:**

**Proposed:**

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 10.6 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1'12''$$

$$= 10.6 \text{ in} \times 1.74 \times 1'12'' = 1.54 \text{ AF}$$

**FINISHED FLOORS: 100-YEAR, 3-DAY RUNOFF CALCULATIONS:**

**Proposed:**

$$Q = (P - (0.2XS))^2 / (P + (0.8*S))$$

$$= 13.5 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1'12''$$

$$= 13.5 \text{ in} \times 1.74 \times 1'12'' = 1.96 \text{ AF}$$

**RAINFALL/ ROUTING SUMMARY** (See attached CASCADE routings)

Based on attached CASCADE Routings w/LWDD 6"X6" Min. Bleeder

Storm Event	Rainfall (in)	Peak Stage (ft-NAVD)	Peak Discharge (cfs)	Design Criteria	Prop Stage (ft-NAVD)
5-yr, 1-day =	6.5	10.50	0.00	Min Parking Lot Grade	12.50
25-yr, 3-day =	12.5	13.39	0.75	Perimeter Berm	13.40
100-yr, 3-day =	15.5	14.26	0.00	Finished Floors - Zero Discharge	14.50

**PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS**

Project Name: 2202 LAKE WORTH ROAD, LLC  
 Project #: MMA #19-046

Engineer: TNM  
 Date: 06/27/19  
 Revised: N/A

**WATER QUALITY CALCULATIONS**

**1-inch Over the Project Area**

$$\text{(Treated Volume)} \quad 1\text{-inch} \quad * \quad 1\text{-ft}/12\text{-in} \quad * \quad \frac{1.69}{\text{PROJECT AREA (AC)}} \quad = \quad \boxed{0.14} \text{ ac-ft} \quad \text{TREATED VOLUME}$$

**2.5-inches Times the Percent Impervious**

$$\text{(Site Area)} \quad \frac{1.69}{\text{PROJECT AREA (AC)}} \quad - \quad \left( \frac{0.00}{\text{LAKES (AC)}} + \frac{0.38}{\text{ROOFS (AC)}} \right) \quad = \quad \frac{1.31}{\text{SITE AREA}} \text{ ac}$$

$$\text{(Impervious Area)} \quad \frac{1.31}{\text{SITE AREA (AC)}} \quad - \quad \frac{0.46}{\text{PERVIOUS AREA (AC)}} \quad = \quad \frac{0.85}{\text{IMPERVIOUS AREA}} \text{ ac}$$

$$\text{(% Impervious)} \quad \frac{\text{IMPERVIOUS AREA} * 100\%}{\text{SITE AREA (AC)}} \quad = \quad 64.89\%$$

$$\text{(2.5-in * % Imp.)} \quad 2.5\text{-inches} \quad * \quad \frac{64.89\%}{\text{PERCENT IMPERVIOUS}} \quad = \quad \frac{1.62}{\text{INCHES TO BE TREATED}} \text{ in}$$

$$\text{(Treated Volume)} \quad \frac{1.62}{\text{TREATED (IN)}} \quad * \quad 1\text{-ft}/12\text{-in} \quad * \quad \frac{1.69}{\text{PROJECT AREA - LAKES (AC)}} \quad = \quad \boxed{0.23} \text{ ac-ft} \quad \text{TREATED VOLUME}$$

**THEREFORE 2.5-INCHES X %IMP GOVERNS**

Required WQ Treatment = 0.23 ac-ft

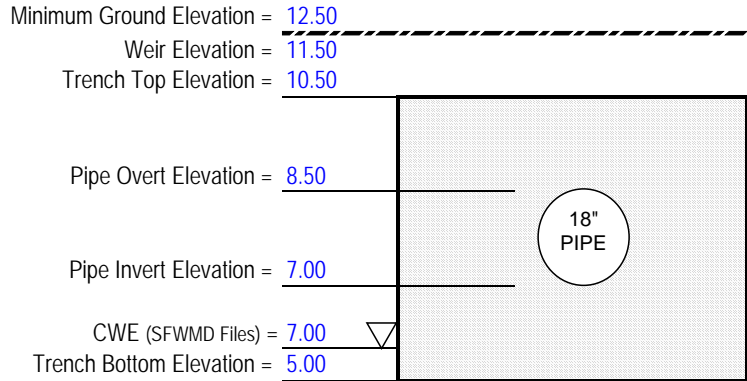
Provided WQ Treatment (Via Exfil Trench @ EL. 10.50) = 0.71 ac-ft

**PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS**

Project Name: 2202 LAKE WORTH ROAD, LLC  
 Project #: MMA #19-046

Engineer: TNM  
 Date: 06/27/19  
 Revised: N/A

**EXFILTRATION TRENCH DESIGN**  
 (Project Area = 1.74 AC)



**Standard Formula**

$$L = V / (K(H_2 \cdot W + 2 \cdot H_2 \cdot Du - Du^2 + 2 \cdot H_2 \cdot Ds) + (1.39 \cdot 10^{-4}) \cdot W \cdot Du)$$

<=== INPUT ONLY IN GRAY CELLS		
V	Volume Treated (acre-in)	8.28 (5y-1d: 6.5" x 1.74 AC)
W	Trench Width (feet)	8.5
K	Hydraulic Conductivity (cfs/ft <sup>2</sup> -ft.head)	1.83E-04 (SFWMD App. No. 051212-7)
H <sub>2</sub>	Depth to Water Table (feet)	4.50 <=== H <sub>2</sub> can extend no lower than the CWE
Du	Non Saturated Trench Depth (feet)	3.50
Ds	Saturated Trench Depth (feet)	2.00

**L Length of Trench Required** 461

$$V = L \cdot (K(H_2 \cdot W + 2 \cdot H_2 \cdot Du - Du^2 + 2 \cdot H_2 \cdot Ds) + (1.39 \cdot 10^{-4}) \cdot W \cdot Du)$$

<=== INPUT ONLY IN GRAY CELLS		
L	Length of Trench Provided	473
W	Trench Width (feet)	8.5
K	Hydraulic Conductivity (cfs/ft <sup>2</sup> -ft.head)	1.83E-04
H <sub>2</sub>	Depth to Water Table (feet)	4.5
Du	Non Saturated Trench Depth (feet)	3.5
Ds	Saturated Trench Depth (feet)	2

**V Volume Treated (acre-in)** 8.49  
**Volume Treated (acre-ft)** 0.71

POST-DEVELOPMENT CASCADE ROUTINGS



Project Name: 2202 LW ROAD

Reviewer: T. McLeod

Project Number: 19046

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.1 hr, Iterations: 200

Basin 1: OnSite

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

3 Day Rainfall: 12.5 inches

Area: 1.74 acres

Ground Storage: 1.78 inches

Time of Concentration: 0.08 hours

Initial Stage: 7 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
7.00	0.00
8.00	0.20
9.00	0.40
10.00	0.61
11.00	0.70
12.00	0.71
13.00	0.86
14.00	1.61
15.00	2.97

Offsite Receiving Body: Offsitel

Time	Stage
0.00	7.00
72.00	9.00

Structure: 1

From Basin: OnSite

To Basin: Offsitel

Structure Type: Gravity

Weir: None

Bleeder: Inv-Tri, Invert Elev = 11.5 ft NGVD, Height = 0.5 ft

Width = 0.5 ft

Default Coefs: Weir Coef = 2.5, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.013, Length = 29 ft

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	7.00	7.00
1.00	0.06	0.00	0.00	0.00	7.00	7.03
2.00	0.11	0.00	0.00	0.00	7.00	7.06
3.00	0.17	0.00	0.00	0.00	7.00	7.08
4.00	0.22	0.00	0.00	0.00	7.00	7.11
5.00	0.28	0.00	0.00	0.00	7.00	7.14
6.00	0.34	0.00	0.00	0.00	7.00	7.17
7.00	0.39	0.00	0.00	0.00	7.00	7.19
8.00	0.45	0.01	0.00	0.00	7.00	7.22
9.00	0.50	0.01	0.00	0.00	7.01	7.25
10.00	0.56	0.02	0.00	0.00	7.01	7.28
11.00	0.62	0.02	0.00	0.00	7.02	7.31
12.00	0.67	0.03	0.00	0.00	7.03	7.33
13.00	0.73	0.03	0.00	0.00	7.05	7.36
14.00	0.78	0.03	0.00	0.00	7.06	7.39
15.00	0.84	0.04	0.00	0.00	7.07	7.42
16.00	0.90	0.04	0.00	0.00	7.09	7.44

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
17.00	0.95	0.04	0.00	0.00	7.11	7.47
18.00	1.01	0.05	0.00	0.00	7.12	7.50
19.00	1.06	0.05	0.00	0.00	7.14	7.53
20.00	1.12	0.05	0.00	0.00	7.16	7.56
21.00	1.18	0.05	0.00	0.00	7.19	7.58
22.00	1.23	0.05	0.00	0.00	7.21	7.61
23.00	1.29	0.06	0.00	0.00	7.23	7.64
24.00	1.34	0.06	0.00	0.00	7.25	7.67
25.00	1.42	0.09	0.00	0.00	7.29	7.69
26.00	1.51	0.09	0.00	0.00	7.32	7.72
27.00	1.59	0.09	0.00	0.00	7.36	7.75
28.00	1.67	0.10	0.00	0.00	7.40	7.78
29.00	1.75	0.10	0.00	0.00	7.44	7.81
30.00	1.83	0.10	0.00	0.00	7.48	7.83
31.00	1.91	0.10	0.00	0.00	7.52	7.86
32.00	2.00	0.10	0.00	0.00	7.57	7.89
33.00	2.08	0.11	0.00	0.00	7.61	7.92
34.00	2.16	0.11	0.00	0.00	7.65	7.94
35.00	2.24	0.11	0.00	0.00	7.70	7.97
36.00	2.32	0.11	0.00	0.00	7.74	8.00
37.00	2.40	0.11	0.00	0.00	7.79	8.03
38.00	2.49	0.11	0.00	0.00	7.84	8.06
39.00	2.57	0.11	0.00	0.00	7.88	8.08
40.00	2.65	0.12	0.00	0.00	7.93	8.11
41.00	2.73	0.12	0.00	0.00	7.98	8.14
42.00	2.81	0.12	0.00	0.00	8.03	8.17
43.00	2.89	0.12	0.00	0.00	8.08	8.19
44.00	2.98	0.12	0.00	0.00	8.13	8.22
45.00	3.06	0.12	0.00	0.00	8.18	8.25
46.00	3.14	0.12	0.00	0.00	8.23	8.28
47.00	3.22	0.12	0.00	0.00	8.28	8.31
48.00	3.30	0.12	0.00	0.00	8.33	8.33
49.00	3.39	0.14	0.00	0.00	8.38	8.36
50.00	3.49	0.14	0.00	0.00	8.44	8.39
51.00	3.60	0.17	0.00	0.00	8.51	8.42
52.00	3.72	0.20	0.00	0.00	8.58	8.44
53.00	3.87	0.26	0.00	0.00	8.68	8.47
54.00	4.07	0.32	0.00	0.00	8.80	8.50
55.00	4.30	0.38	0.00	0.00	8.95	8.53
56.00	4.56	0.44	0.00	0.00	9.12	8.56
57.00	4.87	0.53	0.00	0.00	9.31	8.58
58.00	5.26	0.66	0.00	0.00	9.56	8.61
59.00	5.78	0.97	0.00	0.00	9.88	8.64
60.00	9.34	10.52	0.70	0.02	13.18	8.67
61.00	10.36	1.20	0.75	0.08	13.38	8.69
62.00	10.83	0.73	0.75	0.14	13.39	8.72
63.00	11.12	0.47	0.74	0.20	13.37	8.75
64.00	11.40	0.47	0.74	0.27	13.34	8.78
65.00	11.56	0.28	0.73	0.33	13.29	8.81
66.00	11.73	0.29	0.71	0.39	13.24	8.83
67.00	11.89	0.29	0.70	0.44	13.19	8.86
68.00	12.06	0.29	0.69	0.50	13.15	8.89
69.00	12.17	0.19	0.68	0.56	13.10	8.92
70.00	12.28	0.19	0.66	0.61	13.04	8.94
71.00	12.39	0.19	0.64	0.67	12.96	8.97
72.00	12.50	0.19	0.57	0.72	12.73	9.00

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.75	61.70	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
OnSite	13.39	61.70	7.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
OnSite	1.53	0.00	0.71	0.00	0.82	0.00